"CHARM SCIENCES, INC."
AMENDED SITE PLAN
TAX MAP R3 LOT 4 – LU5
#8 DIAMOND OAKS BOULEVARD
KINGSTON, NEW HAMPSHIRE

NOTES:

1. OWNER OF RECORD MAP R3 LOT 4 – LU5:
   SUSC KINGSTON, LLC.
   P.O. BOX 779
   HAMPTON, NH 03843
   PARCEL AREA: 2.01 AC±
   R.C.R.D. DEED BK: 6089 PG: 1220
   R.C.R.D. PLAN # D–37336, D–25331, D–37717

   APPLICANT:
   CHARM SCIENCES, INC.
   659 ANDOVER STREET
   LAWRENCE, MA 01843–1032

2. SITE LIES IN THE TOWN OF KINGSTON COMMERCIAL III ZONE.

3. EXISTING USE LU5: INDOOR SPORTS COMPLEX WITH SHARED PARKING SUPPORTING LIMITED COMMON AREAS LU1 & LU3..

   PROPOSED USE LU5: MANUFACTURING FACILITY THAT SPECIALIZES IN THE MANUFACTURE AND ASSEMBLY OF PLASTIC MOLDED PARTS IN A CLEAN ROOM ENVIRONMENT WITH SHARED PARKING SUPPORTING LIMITED COMMON AREAS LU1 & LU3

4. THE INTENT OF THIS PLAN IS AS FOLLOWS:
   A. TO CONVERT THE EXISTING USE FROM AN INDOOR SPORTS COMPLEX TO A MANUFACTURING FACILITY
   B. ADD/MODIFY AREA TO LEFT AND RIGHT OF OFFICE AREA IN FRONT OF BUILDING TO ACCOMMODATE ADDITIONAL LOADING/ACCESS/UTILITIES.

5. EXISTING BUILDING SERVED BY ITS OWN INDIVIDUAL ONSITE SEPTIC SYSTEM AND WELL.

6. PARKING SPACE CALCULATION:
   CLUB HOUSE: (GOLF COURSE) OPERATED FROM APRIL THROUGH OCTOBER
   APPROX 2,560 SF SNACK BAR 20 SEATS X 1.5 + 5 EMPLOYEES = 35
   APPROX 3,200 SF GARAGE SPACE = 7
   18 HOLE GOLF COURSE = 18
   TOTAL PARKING REQUIRED = 60
   OR
   RECREATION (INDOOR SPORTS) BUILDING OPERATED FROM NOVEMBER THROUGH APRIL
   APPROX 30,000 SF–SPACES APPROVED ON SITE PLAN D–25331 = 111
   TOTAL SPACES NECESSARY TO SUPPORT EXISTING USES = 111

   CONDITIONALLY APPROVED COMMERCIAL CONDOMINIUM UNITS
   WAIVER GRANTED TO ALLOW 8 SPACES PER UNIT, 32 TOTAL

   PROPOSED MANUFACTURING FACILITY (IN PLACE OF INDOOR SPORTS)
   OFFICE SPACE 1,800 SF / 1,000 X 3 = 6
   MANUFACTURING 30,000 SF / 1,000 X 2 = 60
   EMPLOYEES = 21
   = 87

   WAIVER REQUESTED TO 24 SPACES TOTAL
   TOTAL OF GOLF COURSE, COMMERCIAL CONDOMINIUMS AND MANUFACTURING = 116
   TOTAL NUMBER OF EXISTING/PROPOSED PARKING SPACES = 144 (LESS 116, PROVIDES AN ADDITIONAL 28 SPACES FOR GOLF COURSE ALLOWING 88 TOTAL)

7. A RESTRICTED PARKING SIGN SHALL BE PLACED AT THE ONE HANDICAPPED PARKING SPACE LOCATED IN FRONT OF THE LOADING SPACE AT THE RIGHT OF THE OFFICE AREA IN THE FRONT OF THE BUILDING PROHIBITING PARKING BETWEEN THE HOURS OF 8:00 PM TO MIDNIGHT TO ACCOMMODATE DELIVERY TIMES.

8. EXAMINATION OF THE FLOOD INSURANCE RATE MAP FOR THE COUNTY OF ROCKINGHAM NEW HAMPSHIRE, COMMUNITY PANEL NUMBER 33015C0577E, EFFECTIVE DATE: MAY 17, 2005, INDICATES THAT THE SUBJECT PARCEL IS NOT WITHIN A FLOOD HAZARD AREA.

9. THIS SITE (LU–5) IS NOT WITHIN AN AQUIFER PROTECTION DISTRICT.

10. THIS SITE (LU–5) IS NOT LOCATED WITHIN THE SHORE LAND PROTECTION DISTRICT.

11. THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. S.E.C. & ASSOCIATES, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE THE CONTRACTOR SHALL CONTACT NEW HAMPSHIRE DIG SAFE AT 1–888–344–7233.

12. EASEMENTS, RIGHTS AND RESTRICTIONS SHOWN OR IDENTIFIED ARE THOSE WHICH WERE FOUND DURING RESEARCH COMPLETED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. OTHER RIGHTS, RESTRICTIONS AND EASEMENTS MAY EXIST WHICH A TITLE EXAMINATION OF THE SUBJECT PARCEL WOULD DETERMINE.

13. CHANGE OF USE REQUIRES REVIEW AND/OR APPROVAL OF THE PLANNING BOARD.

14. SIGNAGE:
    PROPOSED SIGNAGE SHALL COMPLY WITH THE TOWN OF KINGSTON'S ZONING ORDINANCE ARTICLE 303.

15. LIGHTING:
    ALL PROPOSED OUTDOOR LIGHTING SHALL CONFORM TO THE TOWN OF KINGSTON'S ZONING ORDINANCE ARTICLE 302.

16. SITE NOT TO EXCEED NOISE LEVEL STANDARDS AS REQUIRED BY TOWN OF KINGSTON'S ZONING ORDINANCE ARTICLE 407.

17. APPROVAL OF THIS APPLICATION IS SUBJECT TO TOWN OF KINGSTON SITE PLAN ORDINANCE ("904.15.A.2) "ACTIVE AND SUBSTANTIAL DEVELOPMENT"

18. ALL SNOW SHALL BE STORED IN THE AREA(S) DEPICTED ON THIS PLAN AS SNOW STORAGE AREAS. IN THE EVENT THAT THE AREAS APPROVED FOR SNOW STORAGE BECOME FULL, THE OWNER SHALL REASONABLY REMOVE EXCESS SNOW FROM THE SITE.

19. OWNER TO COMPLY WITH ALL MAINTENANCE & INSPECTION REQUIREMENTS OF THE TOWN OF KINGSTON STORMWATER MANAGEMENT REGULATIONS (908.16.6 A, E & F); THE PLANNING BOARD REQUIRES INSPECTIONS TO VERIFY ONGOING MAINTENANCE OF WATER QUALITY PROTECTION MEASURES WITHIN PROJECT AREA.

20. ALL PARKING LIMITED TO PAVED SURFACES ONLY.

21. EXISTING CONDITIONS SHOWN ON THIS PLAN ARE TAKEN DIRECTLY FROM RECORD PLANS ON FILE AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS & ON–SITE FIELD SURVEY PERFORMED BETWEEN JUNE AND DECEMBER 2019 AND FEBRUARY AND MARCH 2022..

22. PERCENT OF ALL EXISTING IMPERVIOUS AREA WITHIN (LU5) LAND UNIT 5 = 78%
    PERCENT OF ALL EXISTING AND PROPOSED IMPERVIOUS AREA WITHIN (LU5) LAND UNIT 5 = 82%. PERCENT OF ALL IMPERVIOUS EXISTING AND PROPOSED ON SITE (TAX MAP R3, LOT 4) < LESS THAN 75%

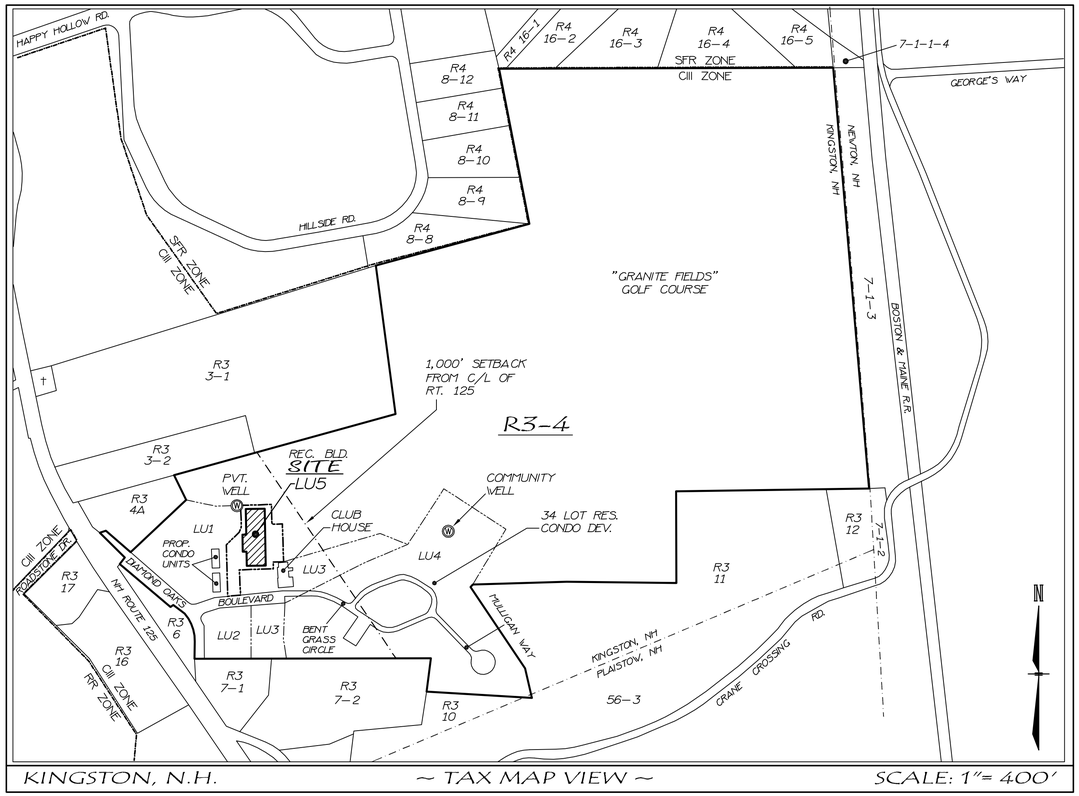
23. ALL PROPOSED ENTRANCES / EXIT DOORS SERVING THE PROPOSED COMMERCIAL UNITS SHALL BE ADA COMPLIANT.

24. HOURS OF OPERATION: MONDAY –> FRIDAY; 24 HOURS COMPRISED OF (3) SHIFTS.

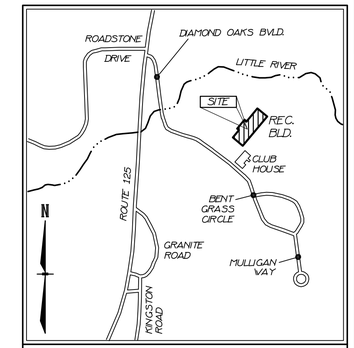
25. ALL WASTE MATERIALS AND RECYCLABLES SHALL BE CONTAINED WITHIN THE BUILDING(S) OR APPROVED STORAGE FACILITIES AND SHALL NOT BE OTHERWISE STORED ON THE PROPERTY. THERE SHALL BE NO STORAGE OF HAZARDOUS AND OR TOXIC MATERIALS, FUELS, OR CHEMICALS ON THIS SITE.

TOWN OF KINGSTON SPECIAL EXCEPTION

ARTICLE 110 COMMERCIAL ZONE CIII SECTION 110.5 SPECIAL EXCEPTIONS TO ALLOW A PROPOSED BUSINESS NOT SPECIFICALLY PERMITTED OR PROHIBITED IN THIS ZONE. (GRANTED: PENDING)



KINGSTON, N.H. ~ TAX MAP VIEW ~ SCALE: 1"= 400'



LOCUS: KINGSTON, N.H. (SCALE: 1" = 600')

ABUTTER INFORMATION

KINGSTON ABUTTERS:

CONDO ASSOCIATION
TAX MAP R–3 LOT 4 LU4
RESIDENTIAL VILLAGES AT GRANITE FIELDS
CONDO ASSOC.
P.O. BOX 567
KINGSTON, NH 03848

TAX MAP R–3 LOT 4 LU1
TEATAD, LLC.
P.O. BOX 175
PLAISTOW, NH 03865

TAX MAP R–3 LOT 4 LU2
D & M HOLDINGS, LLC.
40 HILLSIDE TERRACE
DANVILLE, NH 03819

TAX MAP R–3 LOT 4 LU4
HAWKS RIDGE OF SOUTH KINGSTON, LLC.
P.O. BOX 175
PLAISTOW, NH 03865

TAX MAP R–3 LOT 4
TAX MAP R–3 LOT 4 LU3
DIAMOND OAKS GOLF CLUB, LLC
P.O. BOX 175
PLAISTOW, NH 03865

TAX MAP R–3 LOT 7–1
STEVEN ALLEN
713 NORTH BROADWAY
HAVERHILL, MA 01832

TAX MAP R–3 LOT 7–2
STEPHEN & JUDITH THOMAS REV. TRUST
914 WEST BLUE SPRINGS AVENUE
ORANGE CITY, FL 32763

TAX MAP R–3 LOT 10
TAX MAP R–3 LOT 11
DARLENE DEPTULA–HICKS 2010 FAMILY TRUST
30 CRANE CROSSING ROAD
PLAISTOW, NH 03865

TAX MAP R–3 LOT 12
KAREN CLEAVES
17049 WELLINGTON DR.
PARKER, CO 80134–9129

TAX MAP R–3 LOT 6
R&G REALTY TRUST
2 UPPOLD ROAD
ATKINSON, NH 03811

TAX MAP R–3 LOT 16
TAX MAP R–3 LOT 17
DAHER MOTORS OF KINGSTON, INC.
8A RTE. 125
KINGSTON, NH 03848

KINGSTON ABUTTERS: (CONT.)

TAX MAP R–3 LOT 4A
MASSAPAUG REALTY TRUST
50 MAIN ST.
KINGSTON, NH 03848

TAX MAP R–3 LOT 3–2
CARLOS & CHRISTINE DAHER
15 RTE. 125
KINGSTON, NH 03848

TAX MAP R–3 LOT 3–1
LITTLE DEER VALLEY, LLC
P.O. BOX 5469
HAVERHILL, MA 01835–0469

TAX MAP R–4 LOT 8–8
ROBERT BRITT
17 HILLSIDE RD.
KINGSTON, NH 03848

TAX MAP R–4 LOT 8–9
DANNY & DEBRA PERKINS
19 HILLSIDE RD.
KINGSTON, NH 03848

TAX MAP R–4 LOT 8–10
JANGSY FAMILY TRUST OF 2020
21 HILLSIDE RD.
KINGSTON, NH 03848

TAX MAP R–4 LOT 8–11
MICHAEL & LAURIE WEZESA
23 HILLSIDE RD.
KINGSTON, NH 03848

TAX MAP R–4 LOT 8–12
EDWIN & PAMELA JAHNGEN
25 HILLSIDE RD.
KINGSTON, NH 03848–3510

TAX MAP R–4 LOT 16–1
JAMES & KRISTEN NOONAN
17 ORDWAY LANE
KINGSTON, NH 03848–3539

TAX MAP R–4 LOT 16–2
LON & JILL MULLER
19 ORDWAY LANE
KINGSTON, NH 03848–3539

TAX MAP R–4 LOT 16–3
JOHN & KAREN FUCCIONE
21 ORDWAY LANE
KINGSTON, NH 03848–3539

TAX MAP R–4 LOT 16–4
DANA & ANGELA IANNALFO HEIRS
23 ORDWAY LANE
KINGSTON, NH 03848

TAX MAP R–4 LOT 16–5
RUSSELL & ANNETTE FISCHER
BARBARA SHOEMAKER
24 ORDWAY LANE
KINGSTON, NH 03848

NEWTON ABUTTERS

TAX MAP 7 BLOCK 1 LOT 1–4
RUSSELL & ANNETTE FISCHER
BARBARA SHOEMAKER
24 ORDWAY LANE
KINGSTON, NH 03848

TAX MAP 7 BLOCK 1 LOT 3
DIAMOND OAKS GOLF CLUB, LLC
P.O. BOX 175
PLAISTOW, NH 03865

TAX MAP 7 BLOCK 1 LOT 2
KAREN DANAHY CLEAVES
17049 WELLINGTON DR.
PARKER, CO 80134

TOWN OF NEWTON
ATTEN: OFFICE OF THE SELECTMEN
2 TOWN HALL RD.
NEWTON, NH 03858

PLAISTOW ABUTTERS:

TAX MAP 56 LOT 3
DARLENE DEPTULA–HICKS 2010 FAMILY TRUST
30 CRANE CROSSING ROAD
PLAISTOW, NH 03865

TOWN OF PLAISTOW
ATTN: OFFICE OF THE SELECTMEN
145 MAIN STREET
PLAISTOW, NH 03865

REFERENCE PLANS:

(AS RECORDED IN THE ROCKINGHAM COUNTY REGISTRY OF DEEDS)

1. PLAN #D–37717
2. PLAN #D–37335
3. PLAN #D–37336

PLANS TO BE RECORDED:

4. "GRANITE FIELDS COMMERCIAL CONDOMINIUMS AMENDED SITE PLAN TAX MAP R3 LOT 4–LU1 DIAMOND OAKS BOULEVARD" DATED 12–27–21, PREPARED FOR TEATAD, LLC. BY THIS OFFICE.

CERTIFICATION

"I HEREBY CERTIFY THAT THIS PLAN FULLY AND ACCURATELY DEPICTS THE LOCATION AND DIMENSIONS OF THE LAND AND EXISTING IMPROVEMENTS SHOWN THEREON AND, TO THE EXTENT FEASIBLE, ALL EASEMENTS APPURTENANT THERETO AND THAT ALL UNITS DEPICTED THEREON AS COMPLETED HAVE BEEN SUBSTANTIALLY COMPLETED, UNLESS OTHERWISE NOTED, AND THAT THIS PLAN COMPLIES WITH THE PROVISIONS OF RSA 356–B20: (II) & (V)."

"I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN."

DATE: 03–08–2022

STATE OF NEW HAMPSHIRE LICENSED LAND SURVEYOR No. 873 BRIAN R. HAYNES

BRIAN R. HAYNES, LLS #873

"THESE PLANS ARE PERMIT PLANS, NOT TO BE USED FOR CONSTRUCTION. PRIOR TO CONSTRUCTION, ALL HORIZONTAL & VERTICAL DATUM TO BE VERIFIED BY CONTRACTOR."

"THIS AMENDED SITE PLAN CONTAINS A TOTAL OF 4 SHEETS. SHEETS 1 & 2 ARE RECORDED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS. THE REMAINING INFORMATION IS ON FILE AT THE TOWN OF KINGSTON PLANNING BOARD OFFICE, WHICH IN ITS ENTIRETY CONSTITUTES THE SITE PLAN AS APPROVED BY THE PLANNING BOARD."

APPROVED BY THE TOWN OF KINGSTON PLANNING BOARD ON: _____

SHEET INDEX

INITIAL RELEASE: MARCH 8, 2022	RECENT REVISION DATE
SHEET 1 COVER SHEET	03–08–2022
SHEET 2 AMENDED SITE PLAN	03–08–2022
SHEET 3 FLOOR PLAN	03–08–2022
SHEET 4 DETAIL SHEET	03–08–2022

COVER SHEET
AMENDED SITE PLAN

PROJECT: TAX MAP R3 LOT 4 LU5
#8 DIAMOND OAKS BOULEVARD
KINGSTON, NEW HAMPSHIRE

SCALE: AS NOTED | DRAWN BY: CAZ
DATE: MARCH 8, 2022 | REVISED: 1. | 2. | 3. | 4. | 5.

OWNER LU5:
SUSC KINGSTON, LLC.
P.O. BOX 779
HAMPTON, NH 03843

APPLICANT LU5:
CHARM SCIENCES, INC.
659 ANDOVER STREET
LAWRENCE, MA 01843–1032

PREPARED BY: **S.E.C. & ASSOCIATES, INC.**
SURVEYING & ENGINEERING CONSULTANTS
P.O. BOX 1337 – PLAISTOW, NH 03865 PHONE: (603)–382–5065
~ SERVING N.H. & MA. ~ EMAIL: SEC@SECSURVEYING.COM

DRAWING #: SITE PLAN.DWG
JOB NO. 22–3000

(SHEETS 1 –> 2 FOR RECORDING AT THE R.C.R.D)

NOTES:
1. SEE PLAN SET COVERSHEET (SHEET 1) FOR ALL PROJECT NOTES.
CONDOMINIUM NOTES:
1. (1) EXISTING BUILDING WITH "NOT YET COMPLETED" INTERIOR RENOVATIONS AS SHOWN ON THIS PLAN & SHEET 3.
2. EXISTING BUILDING CONTAINING (1) CONDOMINIUM UNIT.
3. LIMITED COMMON AREAS ASSIGNED TO THE UNITS CONSIST OF DRIVEWAY, PARKING AREAS & WALKWAYS ADJACENT TO SAID UNIT.
IMPROVEMENTS SHOWN ON LU1 ARE FROM CONDITIONALLY APPROVED "GRANITE FIELDS COMMERCIAL CONDOMINIUMS AMENDED SITE PLAN" (SEE REF PLAN #4, SHEET 1)
PROPOSED 40' x 100' COMMERCIAL BUILDING (SEE REFERENCE PLAN #4, SHEET 1)
PROPOSED 36' x 100' COMMERCIAL BUILDING (SEE REFERENCE PLAN #4, SHEET 1)
PROPOSED SEPTIC SYSTEM FOR LU1
P-SNOW STORAGE
PROPOSED DUMPSTERS ON CONC. PAD WITH FENCE SCREEN (LU1)
R3-4-LU1
PROPOSED FUTURE SHED LOCATION
EXIST. GARAGE SERVING GOLF CLUB HOUSE
EXIST UPOLE TO BE RELOCATED AS COORDINATED WITH THE SERVICE PROVIDER
LIMIT OF SAW CUT
LAND UNIT AREA BOUNDARY
N36°27'32"E
252.32'
95.40'
N83°40'57"E
EXISTING PARKING AREA
FIRE LANE
SHARED PARKING LOT SERVING EXISTING REC BLD., GOLF CLUB HOUSE & PROP. COMMERCIAL UNITS; REFERRED TO AS LCA#1 AS SHOWN ON REFERENCE PLAN #D-37717. EXISTING SPACES: 144 INCLUDING 8 HANDICAP SPACES. PROPOSED PARKING: 144 SPACES INCLUDING 10 HANDICAP SPACES.
R3-4-LU5
2.01 ACRES±
EXISTING DUMPSTER TO BE RELOCATED
EXISTING 75' WELL RADIUS EASEMENT BENEFITING LU5 (SEE R.C.R.D. PLAN #D-37717
75' TO EXISTING WELL LOCATION
R=37.00' L=30.54'
113.79'
N36°23'31"E
PROPOSED EROSION CONTROL (COIR LOG)
PROPOSED 6' HIGH VINYL FENCE
PROPOSED CONCRETE PAD
PROP. SLIDING GATE
PROPOSED PAVED AREA
PROPOSED DUMPSTER LOCATION
EXIST. LANDSCAPING ISLAND TO BE REMOVED TO ALLOW FOR TRUCK LEVEL LOADING ACCESS
PROPOSED ON BUILDING SIGN (SEE NOTE 14, SHEET 1)
PROPOSED U.G.E. SERVICE TO RELOCATED U.POLE 203 4A1
PROPOSED 6'HIGH VINYL FENCE
EX. ACCESIBLE RAMP
EXIST. PROPANE TANKS
PROP. SLIDING GATE
PROPOSED ELECTRIC CONC. PAD
EXISTING LOADING ZONE / RAMP
PROPOSED OVERHANG FOR LOADING AREA
EXISTING OFFICE SPACE
PROPOSED 12'X12' BAY DOOR
PROPOSED LIGHT
EXIST. DOOR/OH TO BE REMOVED
SLAB EL: 141.32
PEAK EL: 165.3±
EXISTING "SEACOAST UNITED SPORTS CLUB" INDOOR SPORTS COMPLEX 31,800 S.F. METAL STRUCTURE ON SLAB COMMERCIAL BUILDING
PROPOSED MANUFACTURING FACILITY " CHARM SCIENCES, INC."
PEAK EL: 173.8±
300'
135'
100'
S36°23'31"W 108.15'
N53°36'29"W
180.03'
S36°23'31"W 35.65'
S36°23'31"W 104.35'
S53°36'29"E
R3-4 "GRANITE FIELDS" GOLF COURSE
APPROX. EXIST. SEPTIC FIELD
EXISTING PARKING AREA
EXISTING HANDICAP PARKING SPACES
EXIST. CAPE COD BERM
1 1/2 INCH FORCE MAIN
EXIST. SEPTIC TANK
EXIST. PUMP CHAMBER
EXIST. GREASE TRAP
PROP. SEPTIC TANK
PAVED AREA
PAVED WALKWAY
WALKWAY AND HANDICAP RAMP
EXISTING CLUB HOUSE BUILDING - FIRST FLOOR WITH CONDOMINIUM UNITS - SECOND FLOOR (SEE RCRD PLAN # D-42887)
LU5 S36°23'31"W 200.00'
R3-4-LU5
DIAMOND OAKS BOULEVARD (PRIVATE ROAD)
BENT GRASS CIRCLE (PRIVATE ROAD)
R=315.00' L=65.17'
EXISTING STEEL FRAME BUILDING
APPROX. EXIST. SEPTIC FIELD
R3-4-LU2
EXISTING SEPTIC SYSTEM & NITRATE SETBACK EASEMENT BENEFITING LU3 (SEE RCRD PLAN # D-42887)
APPROX. EXISTING SEPTIC FIELD SUPPORTING CLUB HOUSE CA2013111779
APPROVED NOT YET CONSTRUCTED ADDITIONAL SEPTIC FIELD SUPPORTING EXIST. CLUB HOUSE & PROP. VETERAN'S CONDOS.
POTENTIAL (11) SPACES
POTENTIAL (5) SPACES
APPROVED, NOT YET CONSTRUCTED PAVED PARKING AREA (SEE RCRD PLAN D-37717)
EXISTING GRAVEL AREA
EXISTING BLOCK RETWALL
LAND UNIT AREA BOUNDARY
NH NAD83
GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft.
AMENDED SITE PLAN
PROJECT: TAX MAP R3 LOT 4 LU5
#8 DIAMOND OAKS BOULEVARD
KINGSTON, NEW HAMPSHIRE
SCALE: 1" = 20'
DRAWN BY: CAZ
DATE: MARCH 8, 2022
REVISED: 1.
OWNER LU5: SUSC KINGSTON, LLC. P.O. BOX 779 HAMPTON, NH 03843
APPLICANT LU5: CHARM SCIENCES, INC. 659 ANDOVER STREET LAWRENCE, MA 01843-1032
PREPARED BY: S.E.C. & ASSOCIATES, INC.
SURVEYING & ENGINEERING CONSULTANTS
P.O. BOX 1337 - PLAISTOW, NH 03865 PHONE: (603)-382-5065
~ SERVING N.H. & MA. ~ EMAIL: SEC@SECSURVEYING.COM
DRAWING #: SITE PLAN.DWG
JOB NO. 22-3000
APPROVED BY THE TOWN OF KINGSTON PLANNING BOARD ON:
BRIAN R. HAYNES, LLS #873

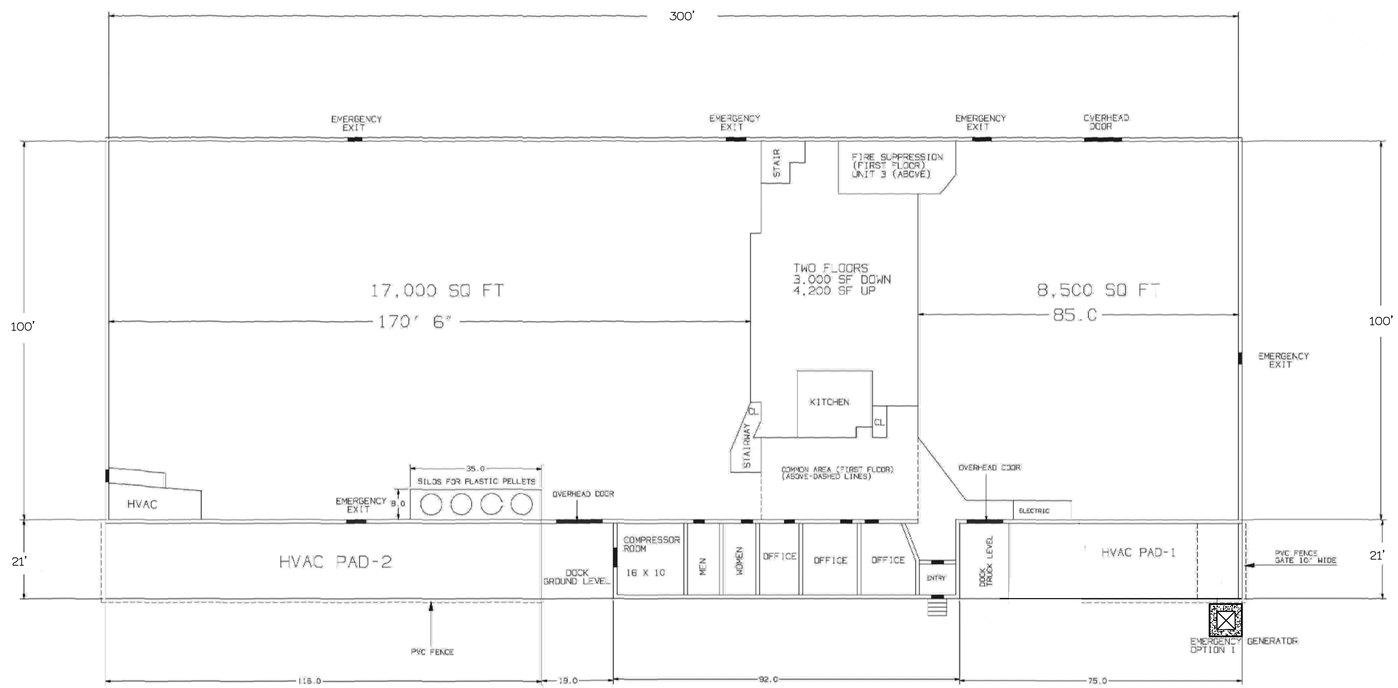
NOTES:

1. SEE PLAN SET COVERSHEET (SHEET 1) FOR ALL PROJECT NOTES.

CONDOMINIUM NOTES:

1. (1) EXISTING BUILDING WITH "NOT YET COMPLETED" INTERIOR RENOVATIONS AS SHOWN ON SHEET 2 AND THIS PLAN.
2. EXISTING BUILDING CONTAINING (1) CONDOMINIUM UNIT.
3. LIMITED COMMON AREAS ASSIGNED TO THE UNITS CONSIST OF DRIVEWAY, PARKING AREAS & WALKWAYS ADJACENT TO SAID UNIT.

R3-4 - "GRANITE FIELDS" GOLF COURSE



DIAMOND OAKS BOULEVARD

FRONT FACE BUILDING - LU5 PARKING LOT

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

PROPOSED INTERIOR FLOOR PLAN

PROJECT: TAX MAP R3 LOT 4 LU5 #8 DIAMOND OAKS BOULEVARD KINGSTON, NEW HAMPSHIRE		
SCALE: 1" = 20'	DRAWN BY: CAZ	
DATE: MARCH 8, 2022	REVISED: 1.	2.
OWNER LU5: SUSC KINGSTON, LLC. P.O. BOX 779 HAMPTON, NH 03843	APPLICANT LU5: CHARM SCIENCES, INC. 659 ANDOVER STREET LAWRENCE, MA 01843-1032	3. 4. 5.
PREPARED BY: **S.E.C. & ASSOCIATES, INC.** SURVEYING & ENGINEERING CONSULTANTS P.O. BOX 1337 - PLAISTOW, NH 03865 PHONE: (603)-382-5065 ~ SERVING N.H. & MA. ~ EMAIL: SEC@SECSURVEYING.COM		DRAWING #: SITE PLAN.DWG JOB NO. 22-3000

(SHEETS 1 -> 2 FOR RECORDING AT THE R.C.R.D)

GENERAL NOTES:

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL CONFORM TO TOWN REGULATIONS AND THE LATEST EDITION OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION.
2. IF, DURING CONSTRUCTION IT BECOMES APPARENT THAT DEFICIENCIES EXIST IN THE APPROVED DESIGN DRAWINGS, THE CONTRACTOR, DEVELOPER OR OWNER ARE RESPONSIBLE TO DOCUMENT THE APPARENT DEFICIENCIES AND NOTIFY THE DESIGN ENGINEER PRIOR TO CONTINUING CONSTRUCTION ACTIVITIES. THE DESIGN ENGINEER, IN COOPERATION WITH THE CONTRACTOR, DEVELOPER OR OWNER WILL RESOLVE THE APPARENT DEFICIENCIES TO MEET APPLICABLE TOWN REGULATIONS.
3. IF, DURING CONSTRUCTION, IT BECOMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED, THE CONTRACTOR, DEVELOPER OR OWNER SHALL BE REQUIRED TO INSTALL ADDITIONAL EROSION PROTECTION MEASURES.
4. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES PRIOR TO CONSTRUCTION TO VERIFY THE LOCATION OF ALL UTILITIES OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR. (DIG SAFE NUMBER PROVIDED ON SHEET 1)
5. THE CONTRACTOR SHALL MAINTAIN EMERGENCY ACCESS TO ALL AREAS AT ALL TIMES.
6. NO EXCAVATED AREA SHALL BE LEFT UNATTENDED AND SHALL BE THOROUGHLY SECURED ON A DAILY BASIS.

CONSTRUCTION SEQUENCE:

1. A PRE CONSTRUCTION MEETING IS REQUIRED WITH ALL APPLICABLE TOWN DEPARTMENTS, OWNER & CONTRACTORS PRIOR TO BEGINNING CONSTRUCTION; IN ADDITION, THE TOWN MUST BE NOTIFIED AT LEAST 24 HOURS PRIOR TO ANY WORK.
2. CUT AND CLEAR TREES WITHIN LIMIT OF WORK (PROPOSED TREELINE), UNLESS OTHERWISE NOTED. ALL STUMPS,BRANCHES, TOPS AND BRUSH TO BE PROPERLY DISPOSED OF, PREFERABLY OFF SITE.
3. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE AS SHOWN AND DETAILED IN THIS PLAN SET.
4. CONSTRUCT TEMPORARY AND PERMANENT EROSION CONTROL FACILITIES (DETENTION BASINS, TREATMENT SWALES, GRASS SWALES AND STONE LINED RIP-RAP SWALES) PRIOR TO ANY EARTH MOVING OPERATION.
5. ALL SWALES AND DITCH LINES SHALL BE PROTECTED FROM EROSION. ALL DITCHES AND SWALES SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
6. ALL STORM DRAINAGE SYSTEMS SUCH AS DETENTION/RETENTION BASINS, TREATMENT SWALES AND LEVEL SPREADERS SHALL BE PROTECTED FROM EROSION. ALL STORM DRAINAGE SYSTEMS SHALL BE STABILIZED PRIOR TO DIRECTING FLOW INTO THEM.
7. NO CATCH BASIN FRAME AND GRATE SHALL BE INSTALLED PRIOR TO PAVING (IF APPLICABLE). ALL DRAINAGE STRUCTURES ARE TO BE "PLATED" AND CUT OUT FOLLOWING PAVING OPERATIONS, ONLY IF ALL DOWNSTREAM DRAINAGE ELEMENTS ARE STABLE, INCLUDING, BUT NOT LIMITED TO OUTLET PROTECTION, ALL SLOPE GRADING, VEGETATED OR RIPRAP SWALES, DETENTION BASIN AND TREATMENT SWALES.
8. IF FRAME AND GRATES ARE INSTALLED, SPECIFIC SOIL EROSION MEASURES MUST BE INSTALLED SUCH AS GRAVEL AND WIRE MESH DROP INLET SEDIMENT FILTER OR BLOCK AND GRAVEL DROP INLET SEDIMENT FILTER.
9. CONSTRUCT TEMPORARY CULVERTS, DIVERSION DITCHES/SWALES OR BERMS AS REQUIRED TO MINIMIZE THE EROSIVE AFFECTS OF STORMWATER RUNOFF DURING ALL CONSTRUCTION ACTIVITIES.
10. COMPLETE GRUBBING OPERATIONS. ALL STUMPS AND DEBRIS SHALL BE PROPERLY DISPOSED OF, PREFERABLY OFF SITE.
11. ALL MATERIAL SUITABLE FOR USE AS TOPSOIL SHALL BE STOCKPILED IN UPLANDS AREAS. ALL STOCKPILES SHALL BE SEEDED WITH WINTER RYE AND IF NECESSARY, SURROUNDED WITH SILT FENCE, AND/OR STRAW BALES, IN ORDER TO PREVENT OR CONTAIN SOIL EROSION.
12. ALL MATERIAL SUITABLE FOR FILL OR SELECT MATERIAL SHALL BE STOCKPILED IN UPLANDS AREAS. ALL STOCKPILES SHALL BE SURROUNDED WITH SILT FENCE, AND/OR STRAW BALES, IN ORDER TO CONTAIN SOIL EROSION.
13. REMOVE ALL IMPROPER ROADWAY/SITE FOUNDATION MATERIAL WITHIN 18" OF SUBGRADE. REPLACE WITH COMPACTED GRANULAR FILL ACCEPTABLE TO THE STATE/TOWN SPECIFICATIONS. ALL SUITABLE FILL MATERIAL SHALL BE COMPACTED TO AT LEAST 95% OF THE DRY WEIGHT AS DETERMINED BY MODIFIED PROCTOR TESTING (ASTM D-1556) REQUIREMENTS.
14. CONSTRUCT ALL UNDERGROUND UTILITIES INCLUDING, BUT NOT LIMITED TO DRAIN, DATA, CABLE AND POWER.
15. ROUGH GRADE ROADWAY/SITE WITHIN LIMIT OF WORK AND COMMENCE CONSTRUCTION OF ROADWAY.
16. COMPLETE ROADWAY SLOPE GRADING/EMBANKMENT CONSTRUCTION. ALL SLOPES SHALL BE STABILIZED AND SEEDED IMMEDIATELY AFTER GRADING. THE CONTRACTOR SHALL STABILIZE SLOPES WITH APPROPRIATE SEEDING PROGRAM OR JUTE MAT, WHEREVER SPECIFIED.
17. APPLY TOPSOIL TO ROADWAY SLOPES AND OTHER AREAS DISTURBED BY CONSTRUCTION. TOPSOIL USED MAY BE NATIVE ORGANIC MATERIAL SCREENED AS TO BE FREE FROM ROOTS, BRANCHES, STONES, AND OTHER DELETERIOUS MATERIALS. TOPSOIL SHALL BE APPLIED SO AS TO PROVIDE A MINIMUM OF A 4-INCH COMPACTED THICKNESS. UPON COMPLETION OF TOPSOILING, FINISHED SECTIONS ARE TO BE LIMED, SEEDED, AND MULCHED. THE CONTRACTOR SHALL INSPECT COMPLETED SECTIONS OF WORK ON A REGULAR BASIS AND REMEDY ANY PROBLEM AREAS UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
18. PERFORM FINAL PAVING OPERATIONS (IF APPLICABLE), INSTALL GUARDRAIL (IF APPLICABLE) AS SHOWN ON THE APPROVED PLANS.
19. MAINTAIN, REPAIR, AND REPLACE TEMPORARY EROSION CONTROL MEASURES AS NECESSARY FOR A MINIMUM PERIOD OF 12 MONTHS FOLLOWING SUBSTANTIAL COMPLETION.

WINTER CONSTRUCTION NOTES

a. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

b. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

c. AFTER OCTOBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.

EROSION CONTROL NOTES

ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED FOR THE DURATION OF THE PROJECT IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS (EPA, NHDES AND TOWN REGULATIONS). THE GENERAL NOTES AND DETAILS CONTAINED IN THIS PLAN SERVE AS A GUIDE ONLY.

1. PERIMETER CONTROLS SHALL BE INSTALLED PRIOR TO EARTH MOVING OPERATIONS. INSTALLATION OF STRAWBALE BARRIERS AND SILTATION FENCES SHALL BE COMPLETED PRIOR TO THE START OF SITE WORK IN ANY SPECIFIC AREA. PREFABRICATED SILTATION FENCES AND SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

2. STRAWBALE BARRIERS AND SILTATION FENCES SHALL BE KEPT CLEAN DURING CONSTRUCTION AND REMOVED WHEN ALL SLOPES HAVE A HEALTHY STAND OF VEGETATIVE COVER. EROSION CONTROL MEASURES SHALL BE INSPECTED ON A WEEKLY BASIS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 0.5 INCHES

3. EXISTING VEGETATION IS TO REMAIN UNDISTURBED WHEREVER POSSIBLE.

4. THE SMALLEST PRACTICAL AREA SHALL ONLY BE DISTURBED AT ANY ONE TIME, AND AT NO TIME SHALL EXCEED 5 ACRES. ALL AREAS MUST BE FULLY STABILIZED BEFORE ANY DISTURBANCE EXCEEDING 5 ACRES. THERE WILL BE NO EXCEPTIONS TO THIS 5 ACRE LIMIT WITHOUT NHDES APPROVAL. IF THE NHDES APPROVAL IS GRANTED, THE SITE WILL BE SUBJECT TO ENVIRONMENTAL MONITORING.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURED:
a. BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED
b. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED
c. A MINIMUM OF 3 INCHES OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP-RAP HAS BEEN INSTALLED
d. OR, EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED

TIME LIMIT: EXPOSURE OF UNSTABILIZED SHALL BE LIMITED TO 45 DAYS (OR LESS) FROM INITIAL DISTURBANCE.

5. ALL DISTURBED AREAS SHALL HAVE A MINIMUM OF 4" OF LOAM INSTALLED WITH NOT LESS THAN 1.1 POUNDS OF SEED MIX PER 1,000 SQ. FT. SEE SEEDING SPECIFICATIONS ON THIS SHEET

6. LIME AND FERTILIZER SHALL BE INCORPORATED INTO THE SOIL PRIOR TO OR AT THE TIME OF AT THE TIME OF SEEDING. A MINIMUM OF 2 TONS PER ACRE OF AGRICULTURAL LIMESTONE AND 500 LBS. PER ACRE OF 10-20-20 FERTILIZER SHALL BE APPLIED. SEEDING PRACTICES SHALL COMPLY WITH LOCAL USDA SOIL CONSERVATION SERVICES RECOMMENDATIONS.

7. STRAW MULCH OR JUTE MATTING SHALL BE USED IF/WHERE INDICATED ON THE PLANS. A MINIMUM OF 1.5 TONS OF MULCH PER ACRE SHALL BE APPLIED. MULCH SHALL BE ANCHORED IN PLACE WHERE NECESSARY. JUTE MATTING SHALL BE LAID IN THE DIRECTION OF RUNOFF FLOW FLOW AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

8. PERMANENT OR TEMPORARY COVER MUST BE IN PLACE BEFORE THE GROWING SEASON ENDS. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS AREA NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 15 TO SEPTEMBER 15. NO DISTURBED AREA SHALL BE LEFT EXPOSED DURING WINTER MONTHS.

9. TO CONTROL DUST DURING CONSTRUCTION, WATER DISTRIBUTION SHALL BE USED.

10. TEMPORARY SEDIMENT TRAPS AND/OR BASINS MUST BE USED AS NECESSARY TO CONTAIN RUNOFF UNTIL SOILS ARE STABILIZED. SEE DETAIL ON THIS SHEET.

SEEDING SPECIFICATIONS

MIXTURE	POUNDS/ACRE	POUNDS/1,000 SF
TALL FESCUE	20	0.45
CREEPING RED FESCUE	20	0.45
BIRDSFOOT TREFOIL	8	0.20
TOTAL	48	1.10

1. SEEDBED PREPARATION
   A. SURFACE AND SEEPAGE WATER SHOULD BE DRAINED OR DIVERTED FROM THE SITE TO PREVENT DROWNING OR WINTER KILLING OF THE PLANTS.
   B. STONES LARGER THAN FOUR INCHES AND TRASH SHOULD BE REMOVED BECAUSE THEY INTERFERE WITH SEEDING AND FUTURE MAINTENANCE OF THE AREA. WHERE FEASIBLE, THE SOIL SHOULD BE TILLED TO A DEPTH OF ABOUT FOUR INCHES TO PREPARE A SEEDBED AND MIX FERTILIZER AND LIME INTO THE SOIL. THE SEEDBED SHOULD BE LEFT IN A REASONABLY FIRM AND SMOOTH CONDITION. THE LAST TILLAGE OPERATION SHOULD BE PERFORMED ACROSS THE SLOPE WHEREVER PRACTICAL.
2. ESTABLISHING A STAND
   A. LIME AND FERTILIZER SHOULD BE APPLIED PRIOR TO OR AT THE TIME OF SEEDING AND INCORPORATED INTO THE SOIL. KINDS AND AMOUNTS OF LIME AND FERTILIZER SHOULD BE BASED ON EVALUATION OF SOIL TESTS. WHEN A SOIL TEST IS NOT AVAILABLE, THE FOLLOWING MINIMUM AMOUNTS SHOULD BE APPLIED:
   - AGRICULTURAL LIMESTONE: 2 TONS PER ACRE OR 0.09 LBS. PER SQ. FT.
   - NITROGEN (N): 50 LBS. PER ACRE OR 1.1 LBS. PER 1000 SQ. FT.
   - PHOSPHATE (P_2O_5): 100 LBS. PER ACRE OR 2.2 LBS. PER 1000 SQ. FT.
   - POTASH (K_2O): 100 LBS. PER ACRE OR 2.2 LBS. PER 1000 SQ. FT.

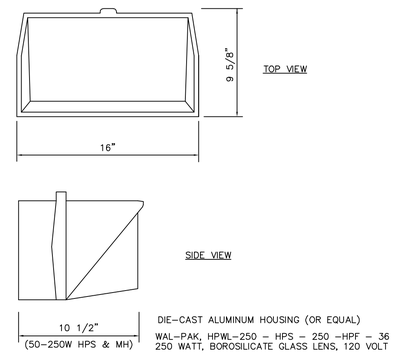
   (NOTE: THIS IS THE EQUIVALENT OF 500 LBS. PER ACRE OF 10-20-20 FERTILIZER OR 1,000 LBS. PER ACRE OF 5-10-10)
   B. SEED SHOULD BE SPREAD UNIFORMLY BY THE METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDE BROADCASTING, DRILLING, AND HYDROSEEDING. WHERE BROADCASTING IS USED, COVER SEED WITH 0.25 INCH OF SOIL OR LESS, BY CULTIPACKING OR RAKING.
   C. REFER TO TABLE 7-35 OF "STORMWATER MANAGEMENT AND SEDIMENTATION CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE", FOR APPROPRIATE SEED MIXTURES AND TABLE 7-36 FOR RATES OF SEEDING. ALL LEGUMES (CROWNVETCH, BIRDSFOOT TREFOIL, AND FLATPEA), MUST BE INOCULATED WITH THEIR SPECIFIC INNOCULANT.
   D. WHEN SEEDED AREAS ARE MULCHED, PLANTINGS MAY BE MADE FROM EARLY SPRING TO EARLY OCTOBER. WHEN SEEDED AREAS ARE NOT MULCHED, PLANTINGS SHOULD BE MADE FROM EARLY SPRING TO MAY 20 OR FROM AUGUST 10 TO SEPTEMBER 1.
3. MULCH
   A. STRAW, STRAW, OR OTHER MULCH, WHEN NEEDED, SHOULD BE APPLIED IMMEDIATELY AFTER SEEDING.
   B. MULCH WILL BE HELD IN PLACE USING TECHNIQUES FROM THE "BEST MANAGEMENT PRACTICE FORMULCHING", AS SHOWN IN, "STORMWATER MANAGEMENT AND SEDIMENTATION CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE".
4. MAINTENANCE TO ESTABLISH A STAND
   A. PLANTED AREAS SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH.
   B. FERTILIZATION NEEDS SHOULD BE DETERMINED BY ONSITE INSPECTIONS. SUPPLEMENTAL FERTILIZER IS USUALLY THE KEY TO FULLY COMPLETE THE ESTABLISHMENT OF THE STAND BECAUSE MOST PERENNIALS TAKE 2 TO 3 YEARS TO BECOME ESTABLISHED.
   C. IN WATERWAYS, CHANNELS, OR SWALES WHERE UNIFORM FLOW CONDITIONS ARE ANTICIPATED, OCCASIONAL MOWING MAY BE NECESSARY TO CONTROL GROWTH OF WOODY VEGETATION.

SEEDING SPECIFICATIONS (TEMPORARY SEEDING)

1. ANY DISTURBED AREAS NOT SEEDED BY OCTOBER 15 SHALL BE SEEDED USING "TEMPORARY SEED MEASURES".
   A) BEDDING – REMOVE STONES AND TRASH THAT WILL INTERFERE WITH SEEDING THE AREA. WHERE FEASIBLE, TILL THE SOIL TO A DEPTH OF ABOUT THREE INCHES TO PREPARE SEED BED AND MIX THE FERTILIZER INTO THE SOIL.
   B) FERTILIZER – FERTILIZER SHOULD BE UNIFORMLY SPREAD OVER THE AREA PRIOR TO BEING TILLED INTO THE SOIL. A 10-10-10 MIX OF FERTILIZER SHOULD BE APPLIED AT A RATE OF 300 POUNDS PER ACRE (OR SEVEN POUNDS PER S.F.)
   C) SEED MIXTURE: USE ANY OF THE FOLLOWING SEEDING RATE:

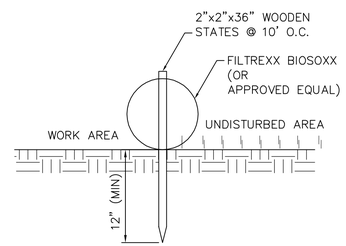
SPECIES	PER ACRE	PER 1000 S.F	DATES	DEPTH
WINTER RYE	112 LBS	2.5 LBS	8/15 – 9/5	1 INCH
OATS	80 LBS	2.0 LBS	SPRING – 5/15	1 INCH
ANNUAL RYE GRASS WITH MULCH	40 LBS	1.0 LBS	4/15 – 9/15	1/4 INCH

   D) MULCHING – WHERE IT IS IMPRACTICAL TO INCORPORATE FERTILIZER AND SEED INTO MOIST SOIL, THE SEEDED AREA SHOULD BE MULCHED TO FACILITATE GERMINATION. MUCH IN THE FORM OF STRAW SHOULD BE APPLIED AT A RATE OF 70 TO 90 POUNDS PER 1,000 S.F.



WAL-PAK WALL MOUNT SECURITY LIGHT DETAIL

NOT TO SCALE

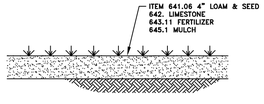


MAINTENANCE:

1. FILTER SOCK SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
2. IF THE FABRIC SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, REPLACE PROMPTLY.
3. SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.
4. SEDIMENT DEPOSITS SHALL BE REMOVED WITH FILTER SOCK UPON COMPLETION OF CONSTRUCTION ACTIVITIES.

(COIR LOG)

FILTER SOCK INSTALLATION



LOAM AND SEED SECTION

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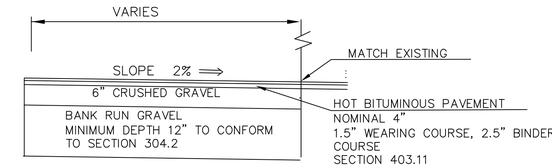

PARKING SECTION

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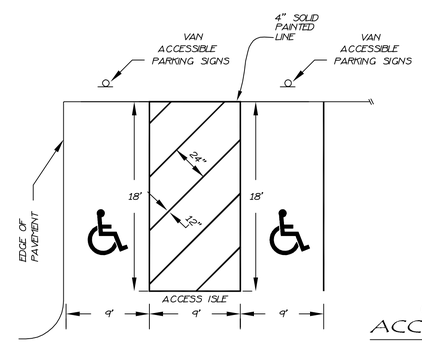

VAN ACCESSIBLE PARKING DETAIL

NOT TO SCALE

(R7-8 AS SHOWN IN THE MUTCD)

ACCESSIBLE SIGN

NOT TO SCALE

DETAIL SHEET

PROJECT: TAX MAP R3 LOT 4 LU5 #8 DIAMOND OAKS BOULEVARD KINGSTON, NEW HAMPSHIRE		
SCALE: AS NOTED	DRAWN BY: CAZ	
DATE: MARCH 8, 2022	REVISED: 1.	2.
OWNER LU5: SUSC KINGSTON, LLC. P.O. BOX 779 HAMPTON, NH 03843	APPLICANT LU5: CHARM SCIENCES, INC. 659 ANDOVER STREET LAWRENCE, MA 01843-1032	3. 4. 5.
PREPARED BY: S.E.C. & ASSOCIATES, INC. SURVEYING & ENGINEERING CONSULTANTS P.O. BOX 1337 – PLAISTOW, NH 03865 PHONE: (603)-382-5065 ~ SERVING N.H. & MA. ~ EMAIL: SEC@SECSURVEYING.COM		DRAWING #: SITE PLAN.DWG JOB NO. 22-3000

(SHEETS 1 –> 2 FOR RECORDING AT THE R.C.R.D)