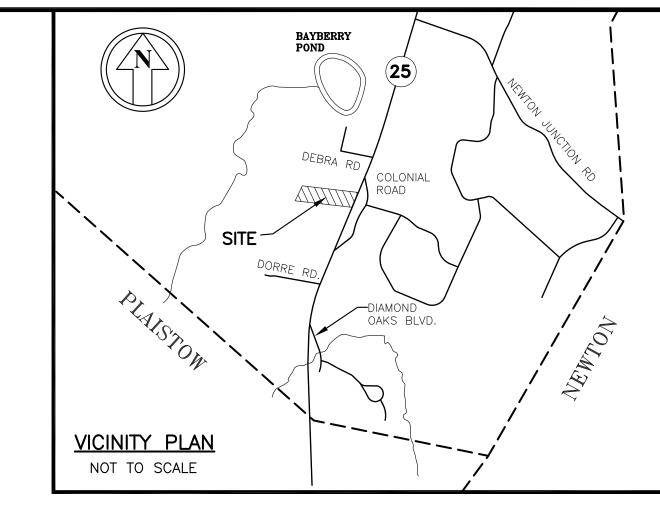
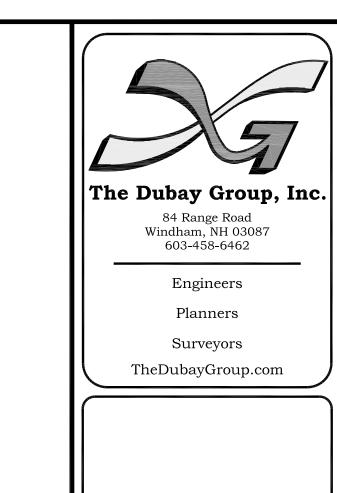
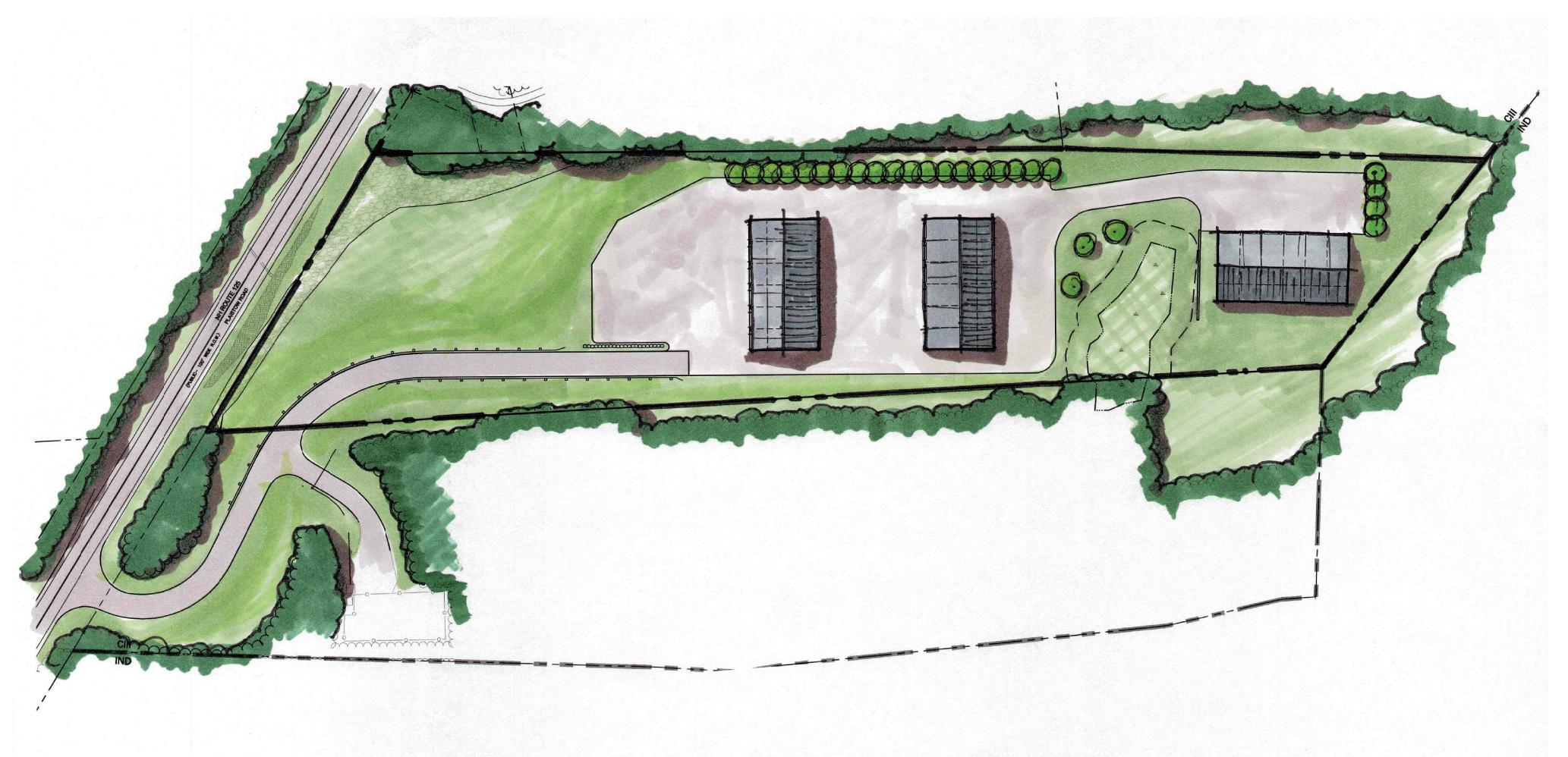
# FIELDSTONE INDUSTRIAL PARK KINGSTON, NEW HAMPSHIRE







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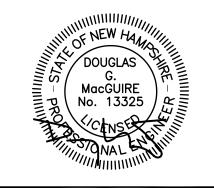
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DRAWN BY: SJK
CHECKED BY: DGM
DATE: FEBRUARY 13, 2020
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PROJEC

FIELDSTONE INDUSTRIAL PARK

34 ROUTE 125 KINGSTON, NH 03848

FIELDSTONE MEADOW REALTY, LLC

19 QUIMBY COURT DANVILLE, NH 03819

SHEET TITLE:

TITLE SHEET

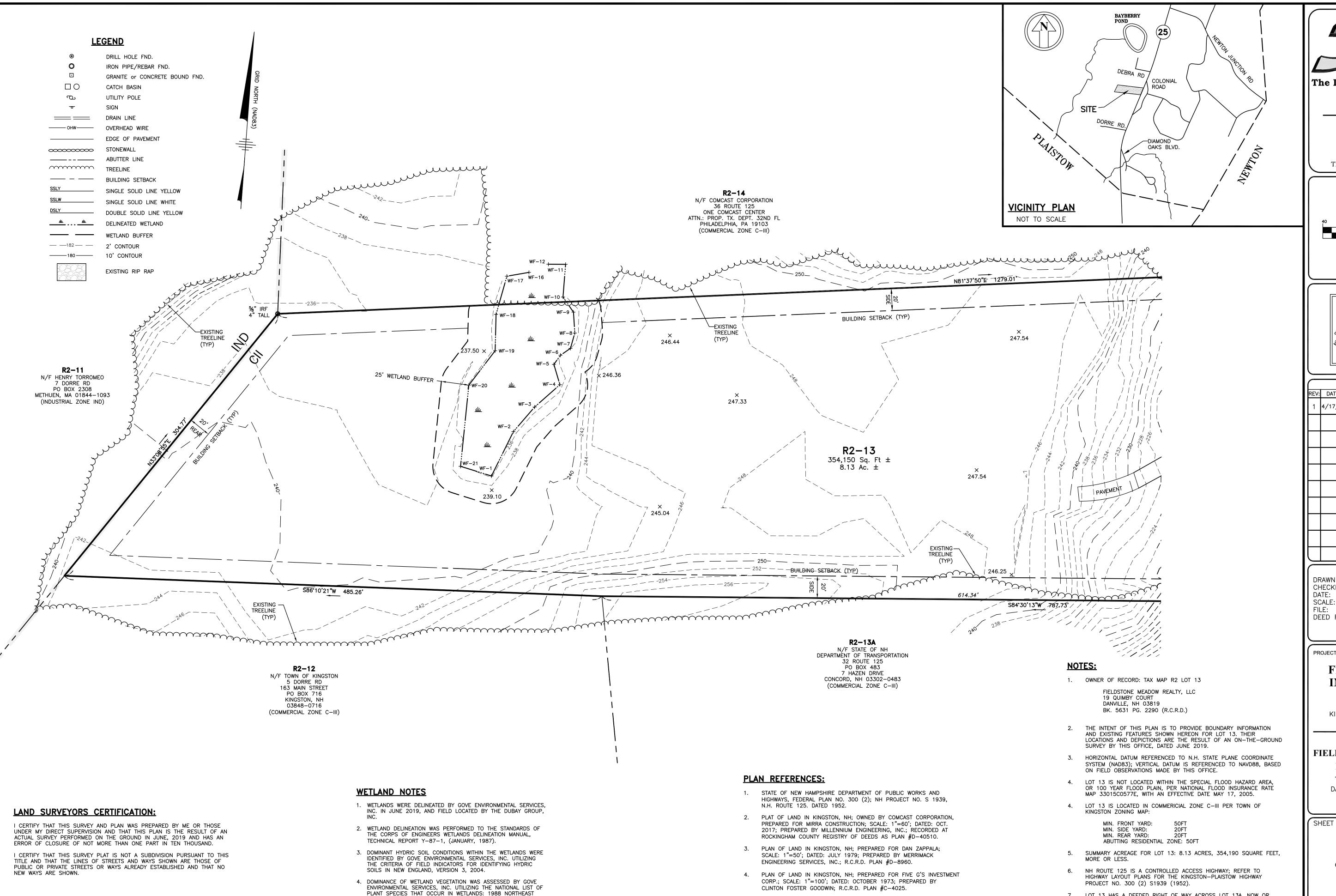
PROJECT #314 SHEET 1 of 25

<u>REQUIRED PERMITS:</u>	PERMIT #	DATE	
1) TOWN OF KINGSTON SITE PLAN			
2) NHDES SEPTIC PERMIT			
3) NHDES ALTERATION OF TERRAIN			

4) NHDOT PERMIT

PLANNING BOARD ON:

APPROVED BY THE TOWN OF KINGSTON



(REGION 1) (PORTER B. REED, JR.).

TIMOTHY W. SUTHERLAND, LLS #991

DATE

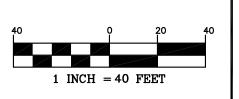
The Dubay Group, Inc.

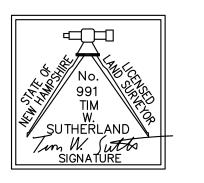
84 Range Road

Windham, NH 03087 603-458-6462

> Engineers Planners

Surveyors TheDubayGroup.com





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1	4/17/20	REVS PER TOWN COMMENTS	JMM	

DRAWN BY: CHECKED BY: JULY 8, 2019 1"=40' 314-ECP DEED REF:

BOOK 5631 PAGE 22901

PROJECT:

#### **FIELDSTONE INDUSTRIAL PARK**

34 ROUTE 125 KINGSTON, NH 03848

FIELDSTONE MEADOW

REALTY, LLC 19 QUIMBY COURT

DANVILLE, NH 03819

SHEET TITLE:

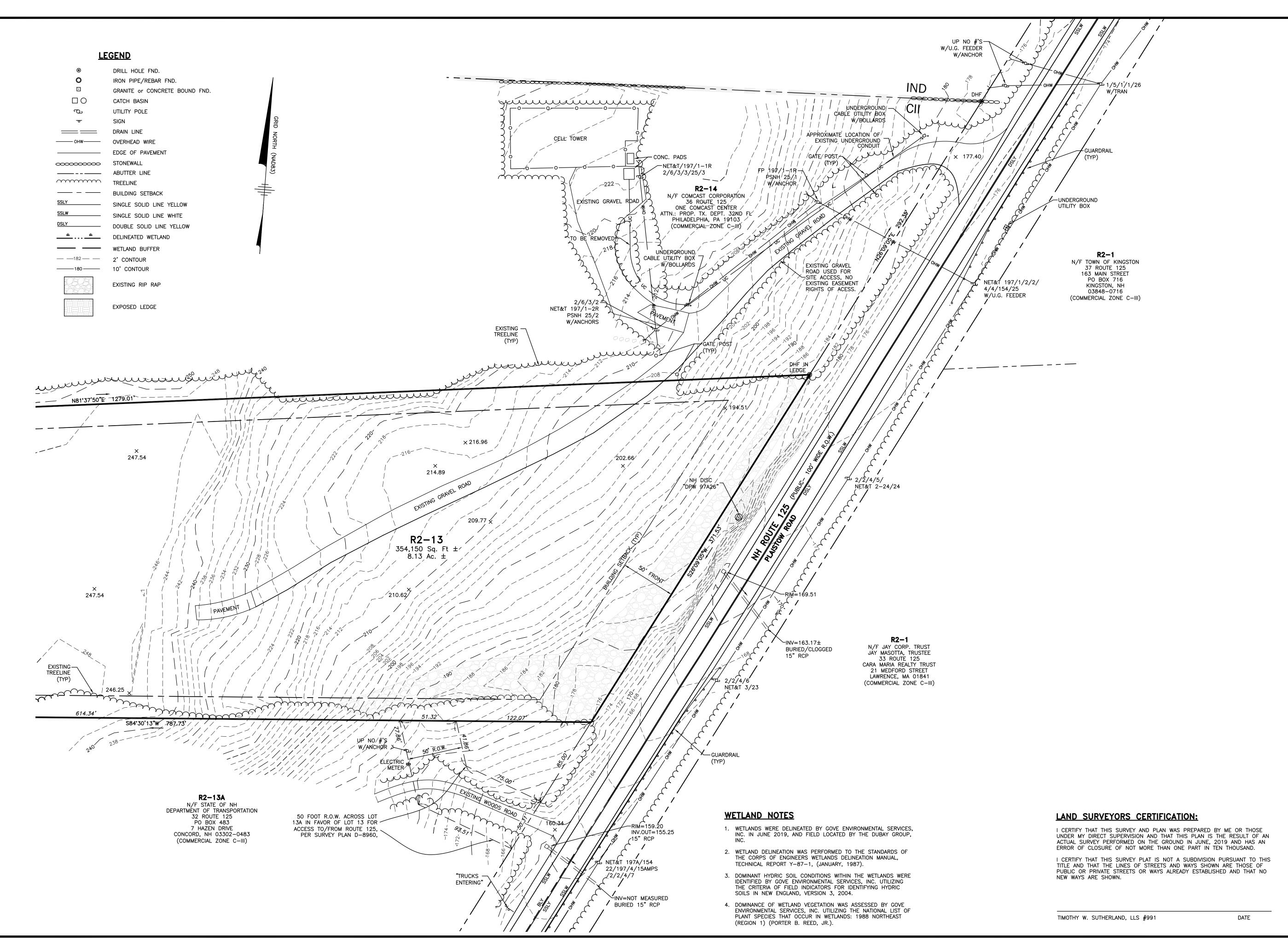
LOT 13 HAS A DEEDED RIGHT OF WAY ACROSS LOT 13A, NOW OR

FORMERLY THE STATE OF NEW HAMPSHIRE, AS DESCRIBED AND

WRITTEN IN RECORD DEED DESCRIPTIONS.

**EXISTING CONDITIONS PLAN** 

PROJECT #314 SHEET 2 of 25





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84 Range Road

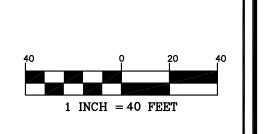
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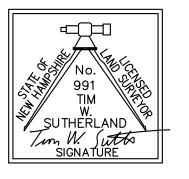
Windham, NH 03087

Engineers

Planners

Surveyors
TheDubayGroup.com





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DATE: JULY 8, 2019

SCALE: 1"=40'

FILE: 314-ECP

DEED REF: 
BOOK 5631 PAGE 22901

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DRAWN BY:

#### FIELDSTONE INDUSTRIAL PARK

34 ROUTE 125 KINGSTON, NH 03848

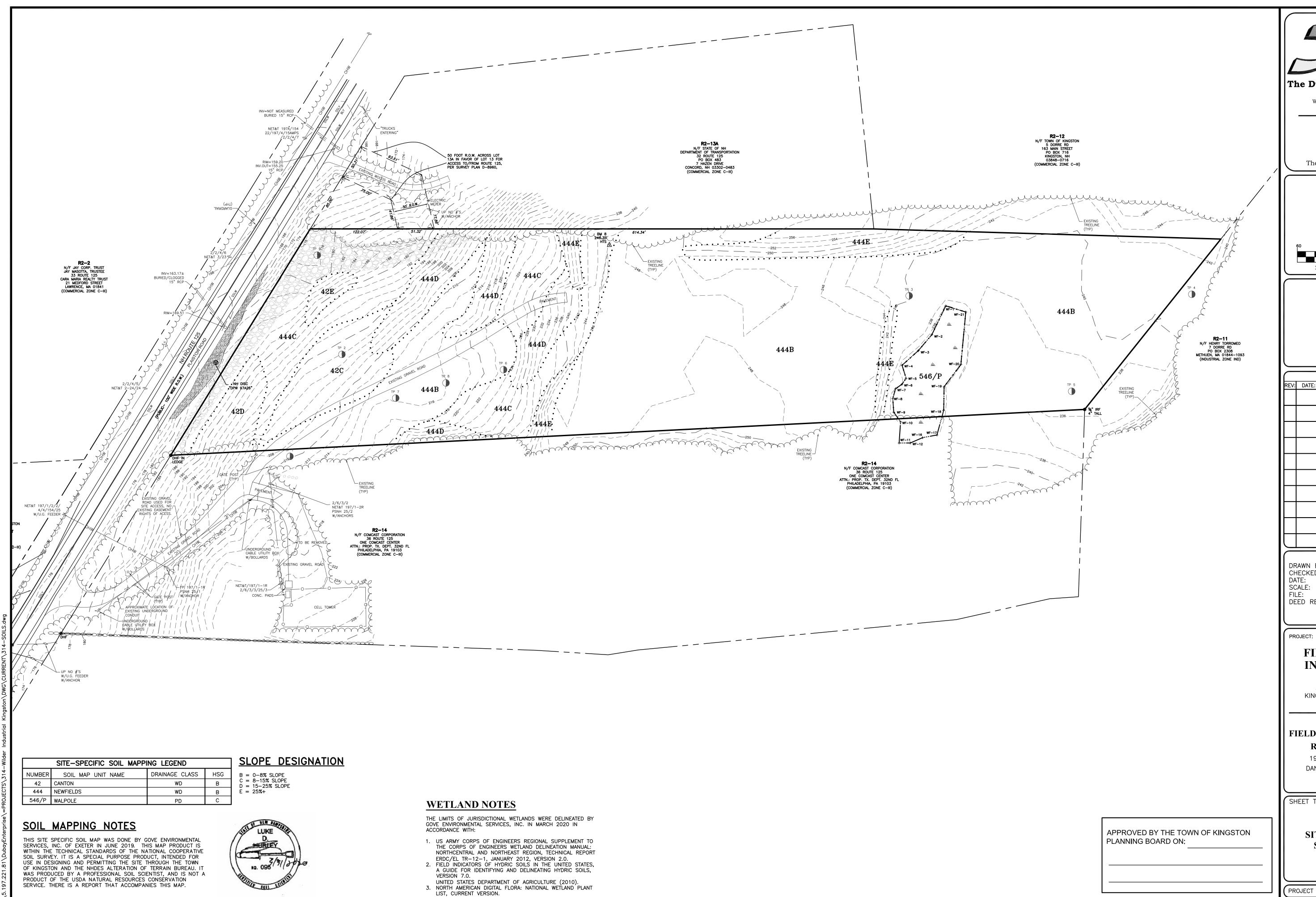
#### FIELDSTONE MEADOW REALTY, LLC

19 QUIMBY COURT DANVILLE, NH 03819

SHEET TITLE:

EXISTING CONDITIONS PLAN

PROJECT #314 SHEET 3 f 25



The Dubay Group, Inc. 84 Range Road Windham, NH 03087

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Engineers

Planners

Surveyors TheDubayGroup.com





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#### **FIELDSTONE INDUSTRIAL PARK**

34 ROUTE 125 KINGSTON, NH 03848

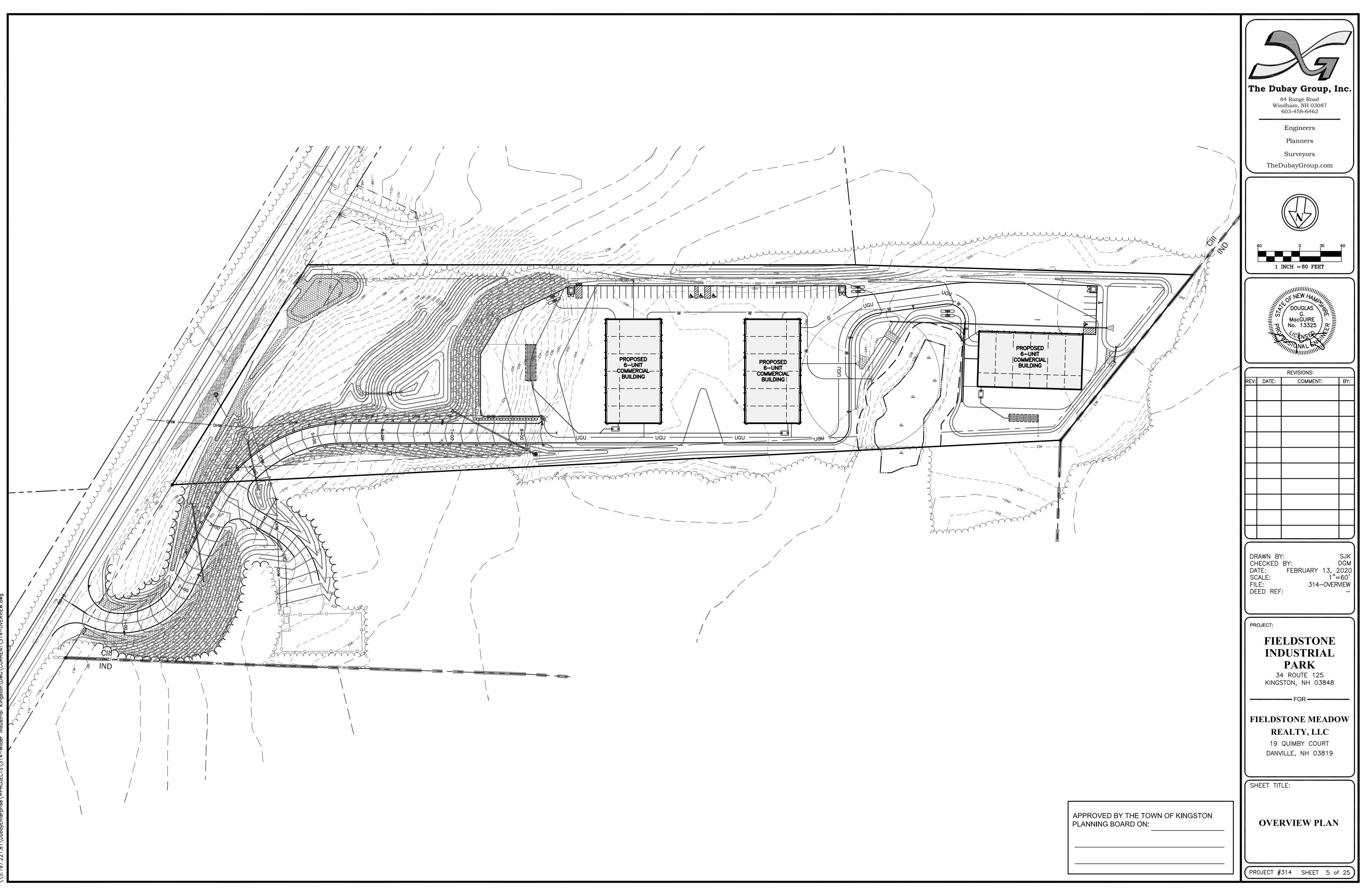
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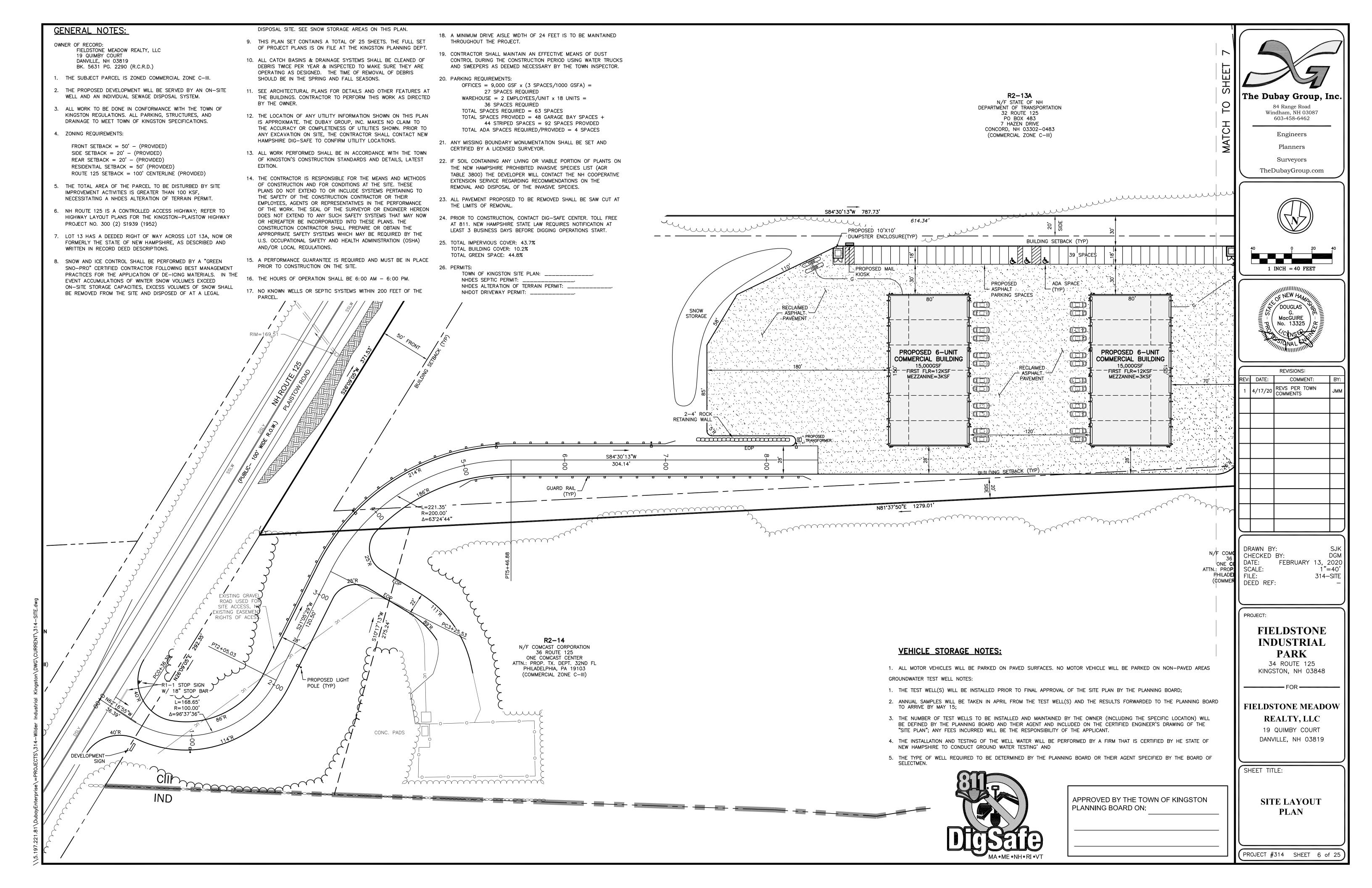
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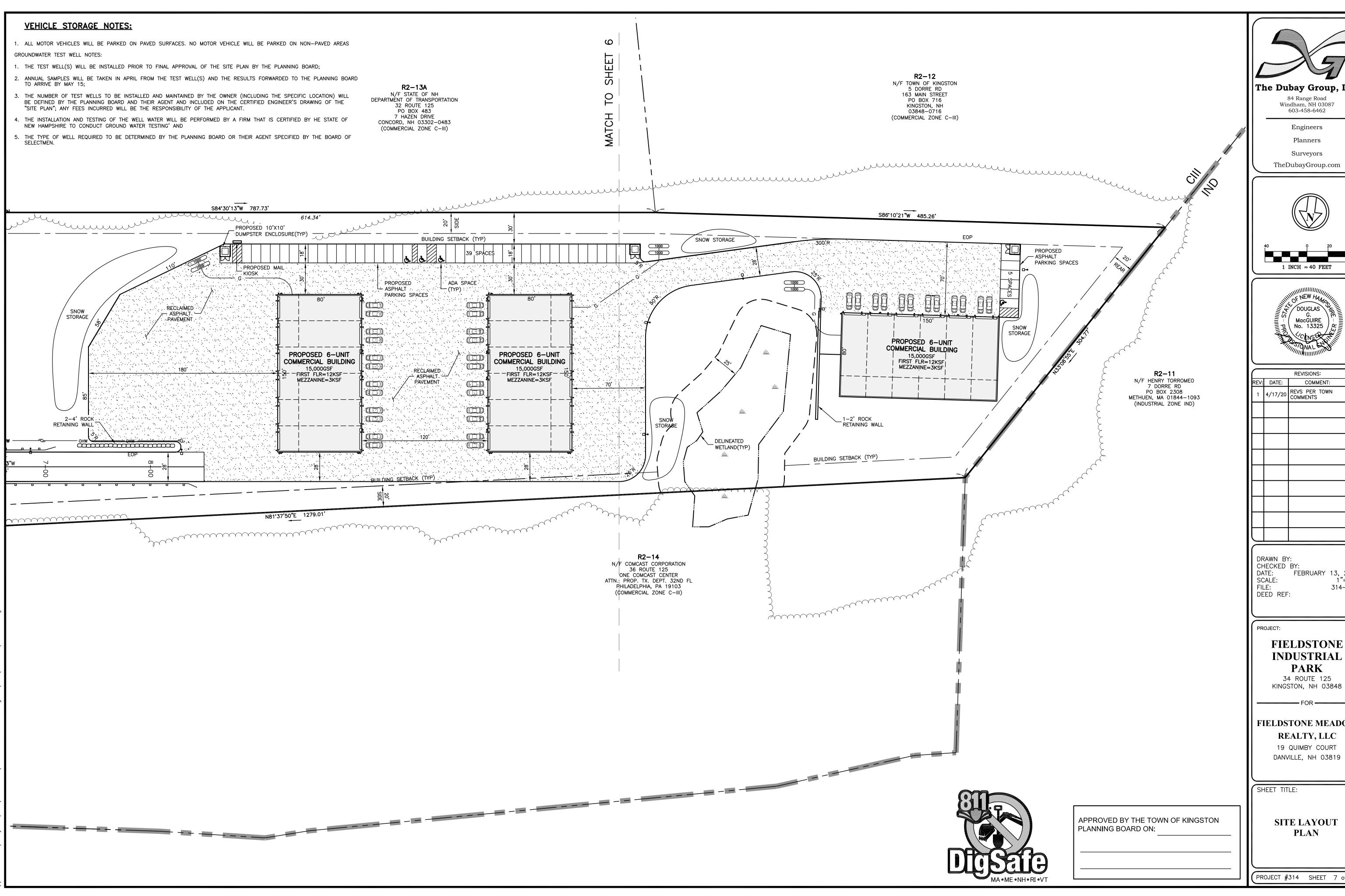
SITE SPECIFIC **SOIL PLAN** 

PROJECT #314 SHEET 4 of 25



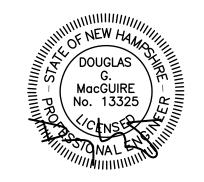
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The Dubay Group, Inc.





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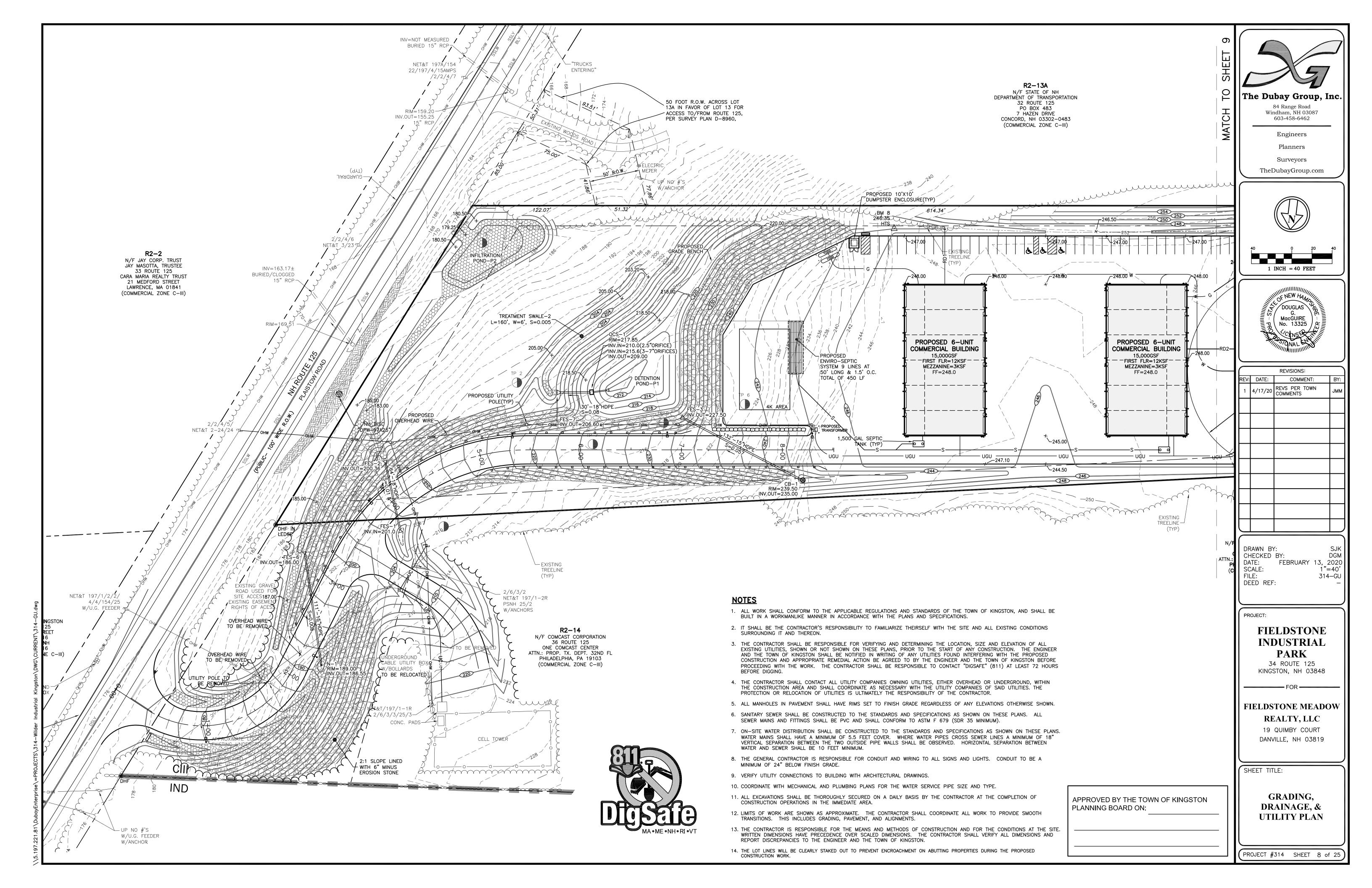
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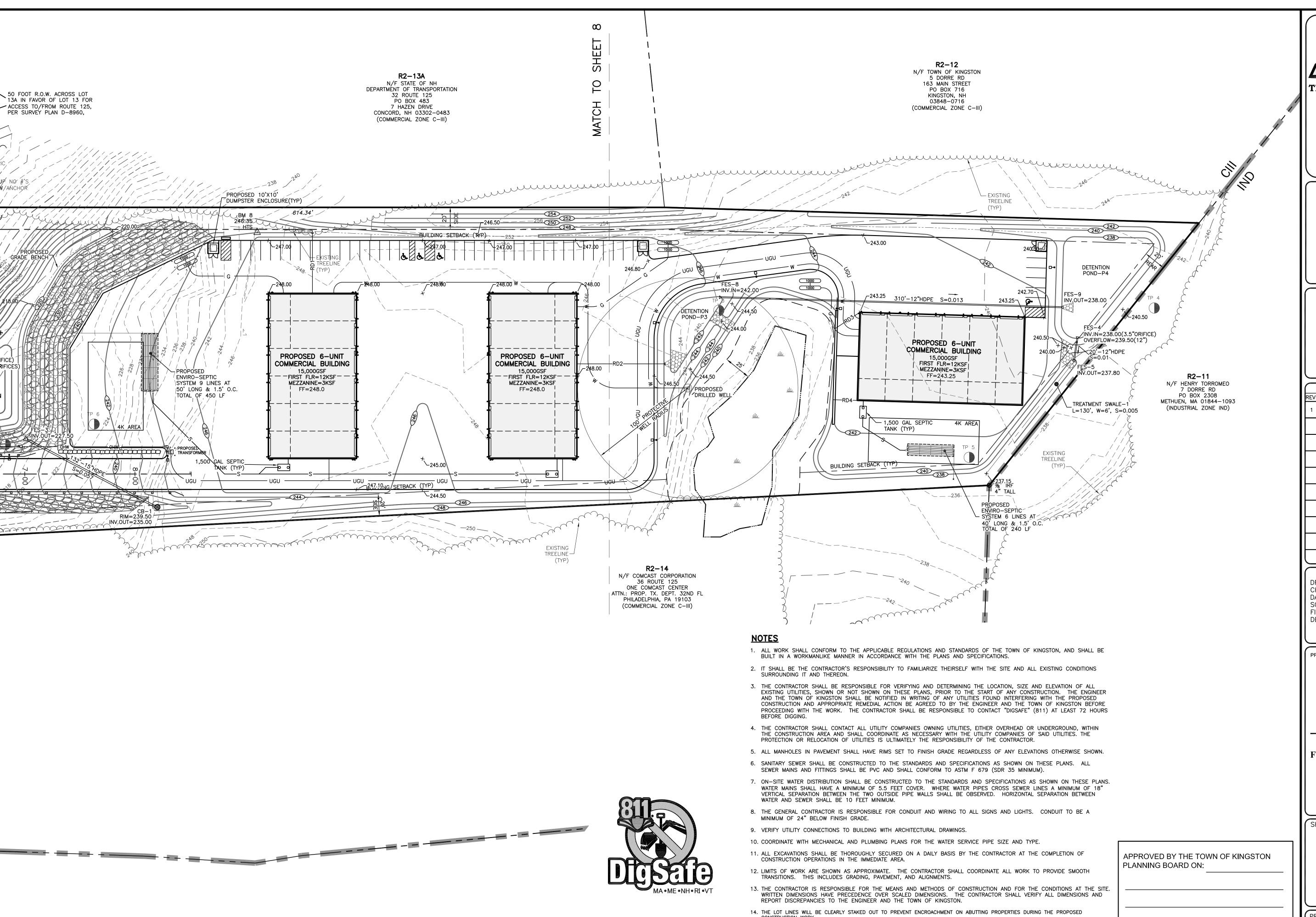
#### **FIELDSTONE INDUSTRIAL**

FIELDSTONE MEADOW

19 QUIMBY COURT

PROJECT #314 SHEET 7 of 25





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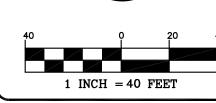
Engineers

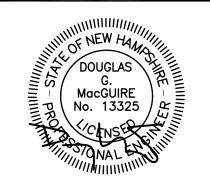
Planners

Planners

Surveyors
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#### FIELDSTONE INDUSTRIAL PARK

34 ROUTE 125 KINGSTON, NH 03848

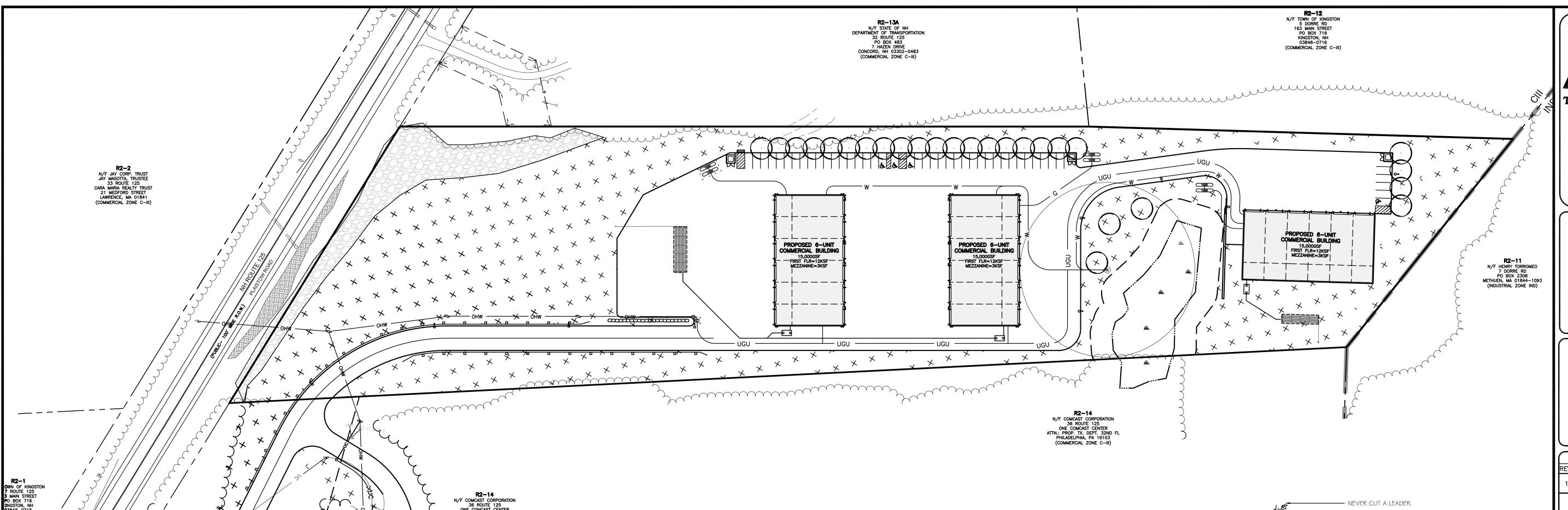
#### FIELDSTONE MEADOW REALTY, LLC

19 QUIMBY COURT DANVILLE, NH 03819

SHEET TITLE:

GRADING, DRAINAGE, & UTILITY PLAN

PROJECT #314 SHEET 9 of 25



### LANDSCAPE NOTES:

I. PRIOR TO CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL EXISTING AND NEWLY INSTALLED UTILITIES AND SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS.

2. WHEREVER POSSIBLE EXISTING TREES SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION. DISTURBED SIDE SLOPES SHALL BE ALLOWED TO NATURALLY VEGETATE TO SUSTAIN EXISTING WILDLIFE AND PLANT LIFE.

- 3. THE PROPOSED DECIDUOUS TREES SHALL BE A MIN. 2" CALIPER MEASURED AT 12" ABOVE THE GROUND
- 4. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.

5. PLANTS SHALL NOT BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA OF THE PLANTING.

- 6. ALL TREES SHALL BE BALLED AND BURLAP UNLESS OTHERWISE NOTED.
- 7. ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
- 8. WHERE APPLICABLE THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING.THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- 9. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
- IO. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
- II. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.

I 2. INSOFAR AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.

LANDSCAPE LEGEND

SHALL CONTAIN:

2" CAL. SHADE TREES (B&B)

8 - QUERCUS COCCINEA / SCALET OAK PLANT IN GROUPS OF 3 AND 5 BY SPECIES

ELYMUS CANADENSIS / CANADA WILD RYE

LOLIUM PERENNE / PERRENIAL RYEGRASS

PANICUM VIRGATUM / SWITCH GRASS SORGHASTRUM NUTANS / INDIAN GRASS

LOLIUM MULTIFLORUM / ANNUAL RYEGRASS

SCHIZACHYRIUM SCOPARIUM / LITTLE BLUESTEM

FESTUCA RUBRA / RED FESCUE

9 - ACER FREMANII 'AUTUMN BLAZE' / AUTUMN BLAZE MAPLE

9 - GLEDITSIA T.I. 'SHADEMASTER' / SHADEMASTER HONEYLOCUST

SIDE SLOPE AREAS TO BE SEEDED WITH NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR DRY

SITES BY NEW ENGLAND WETLAND PLANTS, INC OR EQUIVALENT. APPLY: 35 LBS/ACRE: 1250 SQ FT/LB. MIX

- 13. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI 260 (REV. 1996) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- I 4. ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
- I 5. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
- I G. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH WILT-PRUF' OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
- I 7. NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
- I 8. SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
- 19. ALL PLANTING BEDS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.

20. NO SOIL CONTAINING ANY LIVING OR VIABLE PORTION OF PLANTS ON THE NEW HAMPSHIRE PROHIBITED INVASIVE SPECIES LIST (AGR TABLE 3800) SHALL BE TRANSPORTED TO OR FROM CONSTRUCTION SITES WITHOUT NOTIFICATION AND APPROVAL FROM THE NEW HAMPSHIRE DEPT. OF AGRICULTURE PER RSA 430:55.

#### LANDSCAPE REQUIREMENTS:

MITIGATING THE IMPACTS OF PARKING LOTS:

5% ON PARKING LOTS WHICH ARE LOCATED AT THE REAR OF THE PRINCIPAL BUILDING AND LARGELY OBSCURED FROM THE ROAD.

ALL LANDSCAPED AREAS REQUIRED BY THE ARTICLE SHALL CONTAIN NO LESS THAN ONE LIVE SHADE TREE OR ORNAMENTAL TREE. SUCH TREES SHALL HAVE A MINIMUM TRUNK DIAMETER (MEASURE TWELVE (12) INCHES ABOVE THE GROUND LEVEL) OF NOT LESS THAN TWO (2) INCHES.

FOR TREES WITH CALIPER 3" OR GREATER 6 1/2" GALV. TURNBUCKLE # #12 GA. GALV.

ANCHOR WITH 2"x2"x2' SPRUCE STAKE

SURVEY FLAGGING ---

REMOVE BURLAP FROM -

BACKFILL WITH PLANTING MIX -

TWISTED WIRE IN RUBBER HOSE AROUND TREE

ALL LANDSCAPED AREA SHALL CONTAIN SHRUB AND GROUND COVER PLANTINGS AND SHALL NOT BE PAVED EXCEPT FOR WALKWAYS NECESSARY FOR PEDESTRIAN SAFETY.

INTERNAL PARKING LOT LANDSCAPING, ONE DECIDUOUS SHADE TREE FOR EVERY 15 (FIFTEEN) PARKING SPACES. 45 SPACES REQUIRED - 3 TREES REQUIRED - 3 TREES SHOWN

SHADE TREES SHALL BE PROVIDED AROUND THE PERIMETER OF ALL PARKING AREAS AT A MINIMUM RATIO OF 1 (ONE) TREE PER 20 FEET OF PARKING LOT PERIMETER. 445 LF PARKING / 20 = 22.25 OR 23 TREES REQUIRED - 23 TREES SHOWN

THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. WE MAKE NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. 72 HOURS PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 1-888-DIG-SAFE.



DECIDUOUS TREE PLANTING DETAIL

APPROVED BY THE TOWN OF KINGSTON PLANNING BOARD ON:

PRUNE 1/5 OF EXISTING LEAF AREA
WHILE RETAINING NATURAL FORM.
PAINT ALL CUTS OVER 1/2" DIA.
WITH APPROVED TREE PAINT

FOR TREES WITH CAL. LESS THAN 3"
(3) 2"x2"x8' SPRUCE STAKES

ABOVE GROUND TO LOWEST BRANCH STAKES TO BE CLEAR OF ROOTBALL

- #12 GA. GALV. TWISTED WIRE IN RUBBER HOSE

- GROUND LINE TO BE SAME AS AT NURSERY

 4" SHREDDED HARDWOOD BARK MULCH (FORM SAUCER FOR WATER RETENTION)

— I 2" MIN. PLANTING SOIL MIX UNDER ROOTBALL

The Dubay Group, Inc.

84 Range Road
Windham, NH 03087

Engineers Planners

Surveyors
TheDubayGroup.com

603-458-6462



1 INCH = 60 FEET

REVISIONS:					
REV:	DATE:	COMMENT:	BY:		
1	4/17/20	REVS PER TOWN COMMENTS	JMM		

DRAWN BY: REK
CHECKED BY: DGM
DATE: FEBRUARY 13, 2020
SCALE: 1"=60'
FILE: 314—LANDSCAPE
DEED REF: —

PROJECT:

FIELDSTONE INDUSTRIAL PARK

> 34 ROUTE 125 KINGSTON, NH 03848

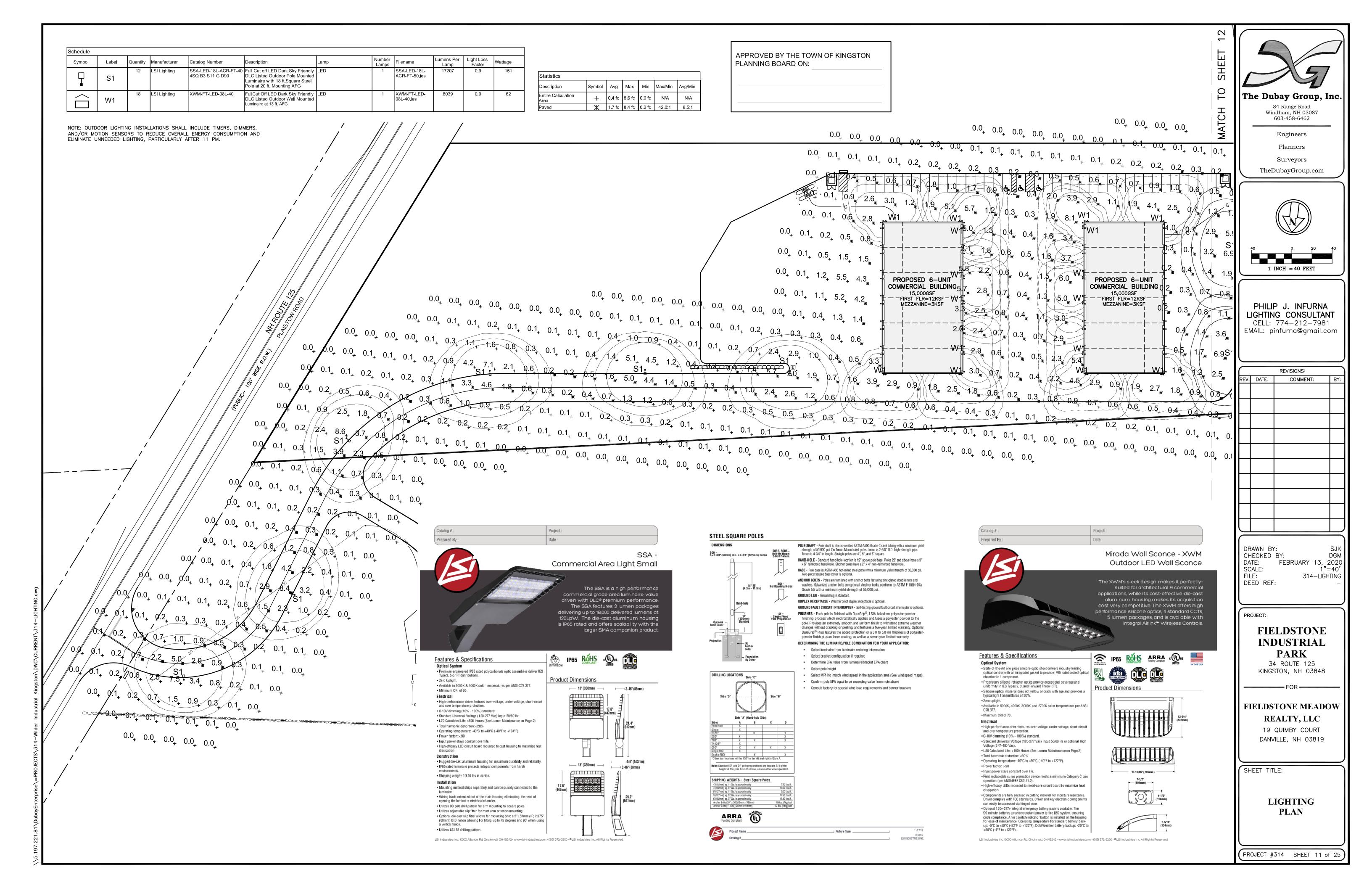
FIELDSTONE MEADOW REALTY, LLC

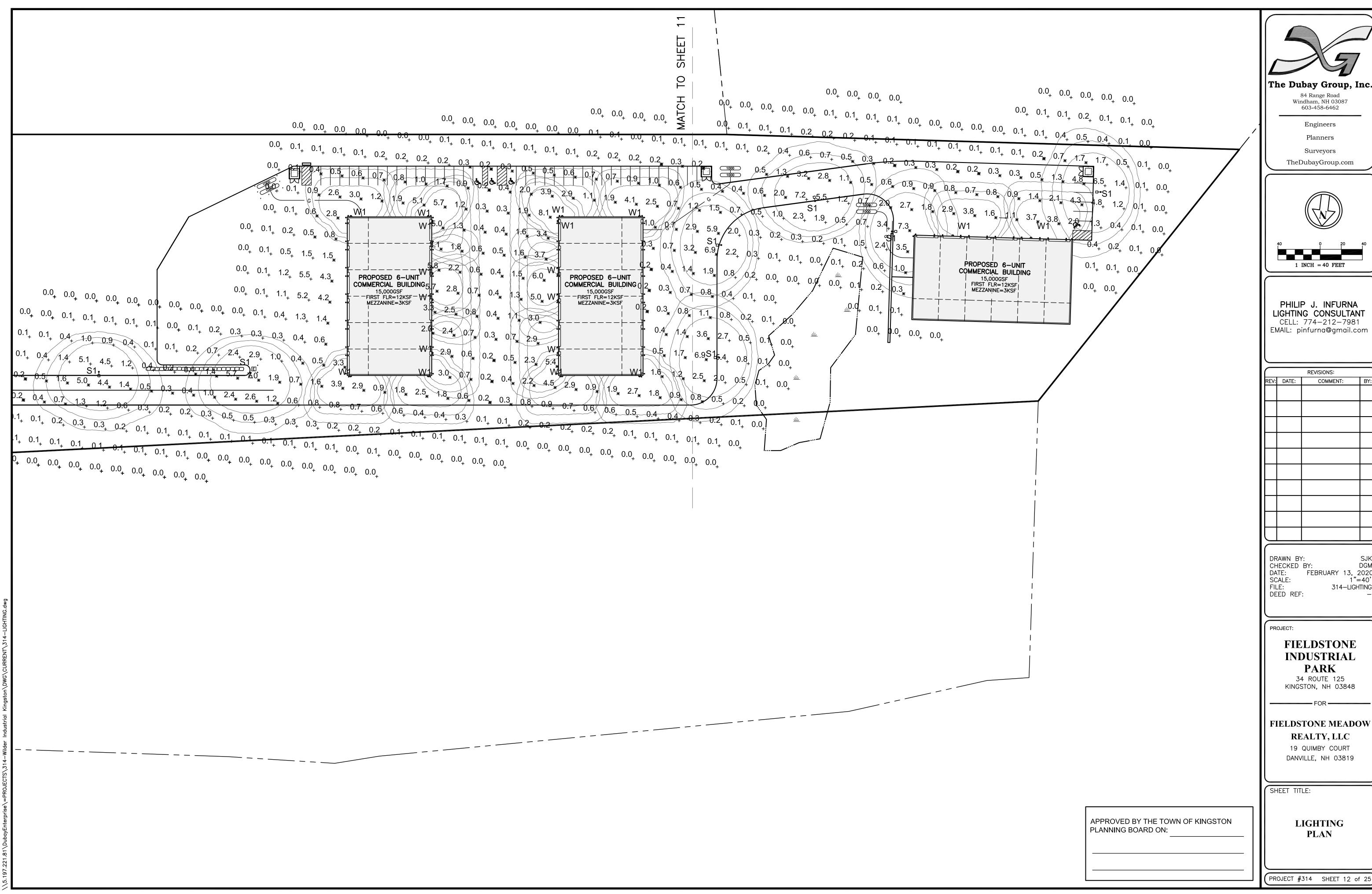
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SHEET TITLE:

LANDSCAPE PLAN

PROJECT #314 SHEET 10 of 25







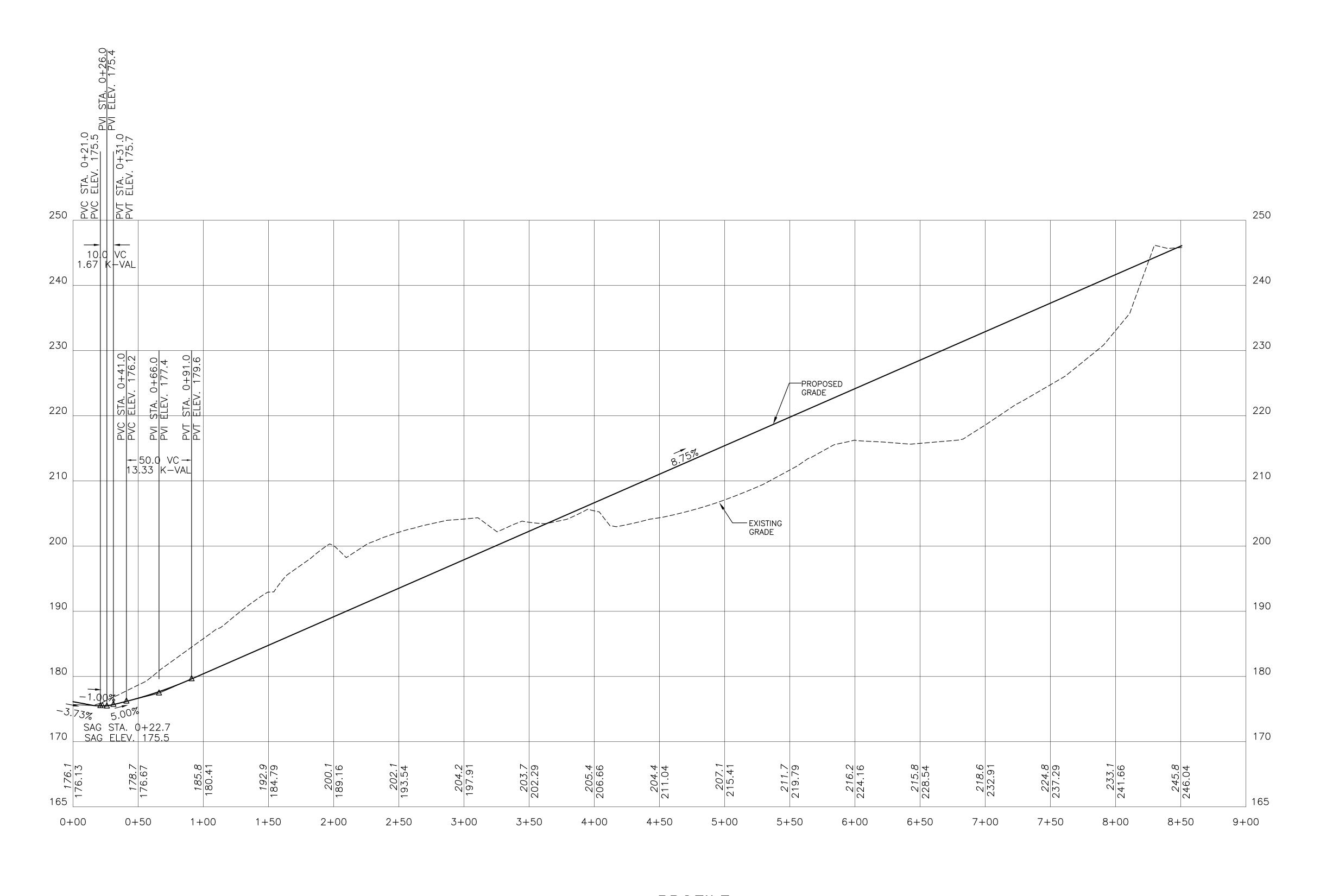
PHILIP J. INFURNA LIGHTING CONSULTANT CELL: 774-212-7981 EMAIL: pinfurna@gmail.com

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FEBRUARY 13, 2020 1"=40' 314-LIGHTING

DANVILLE, NH 03819

PROJECT #314 SHEET 12 of 25



<u>PROFILE</u>

SCALE: 1"=40' HOR. 1"=4' VERT.

APPROVED BY THE TOWN OF KINGSTON PLANNING BOARD ON:



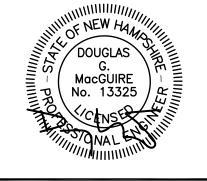
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Windham, NH 03087
603-458-6462

Engineers

Planners

Surveyors TheDubayGroup.com





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DATE: FEBRUARY 13, 2020
SCALE: AS SHOWN
FILE: 314-PROFILE
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PROJECT:

FIELDSTONE
INDUSTRIAL
PARK
34 ROUTE 125

KINGSTON, NH 03848

FIELDSTONE MEADOW REALTY, LLC

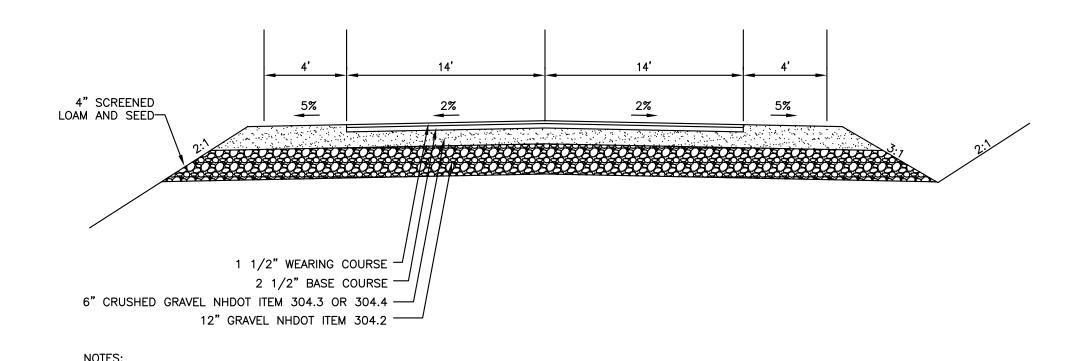
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DANVILLE, NH 03819

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ROAD PROFILE PLAN

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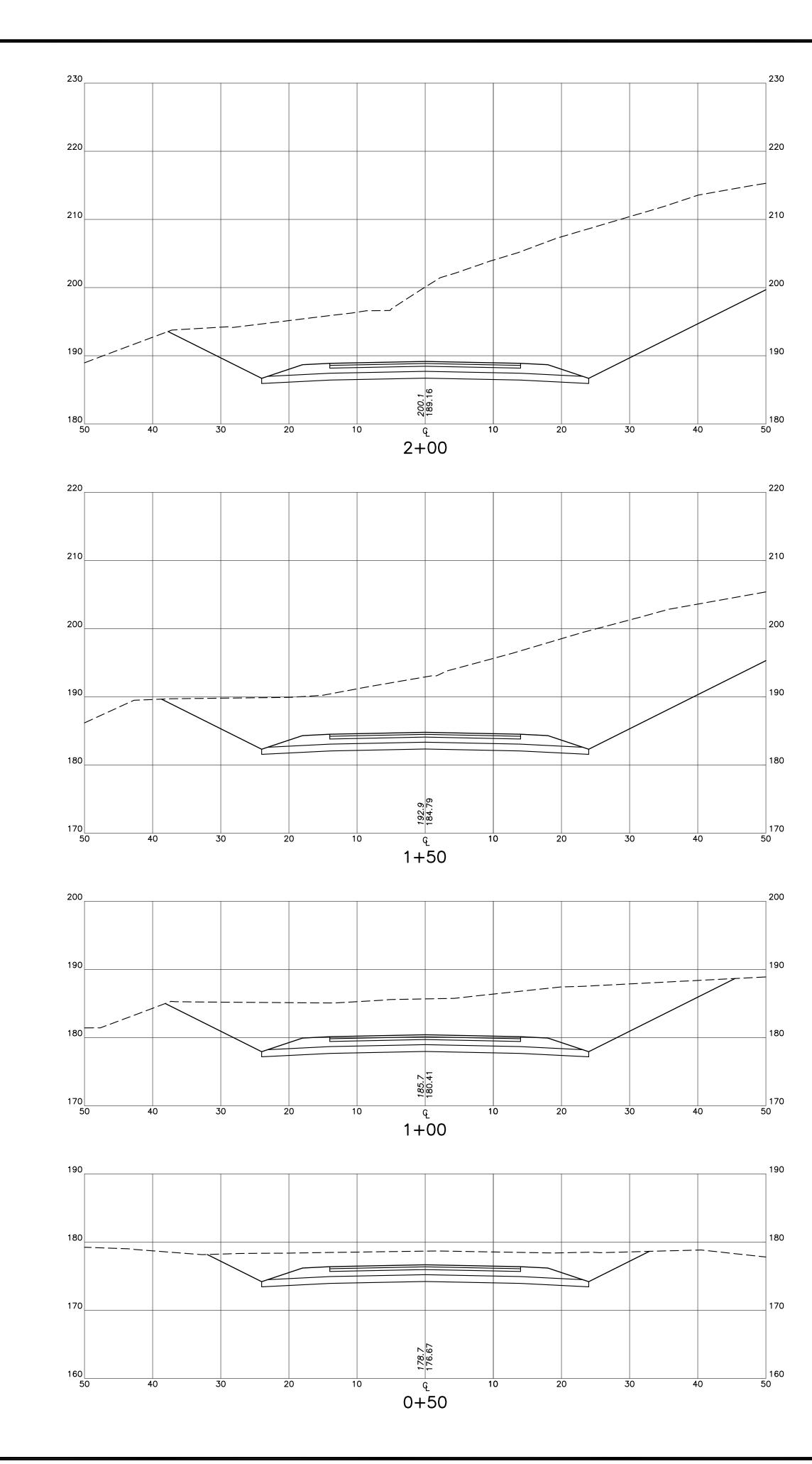
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1. INSTALLATION, SPECIFICATIONS, AND PROCEDURES SHALL COMPLY WITH NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
2. INSTALL UNDERDRAIN IN WET AREAS OR AS DIRECTED BY TOWN ENGINEER
3. ALL MATERIAL MUST BE A MINIMUM OF 95% COMPACTION @ 6% MOISTURE CONTENT

TYPICAL ROADWAY CROSS—SECTION

NOT TO SCALE





84 Range Road Windham, NH 03087

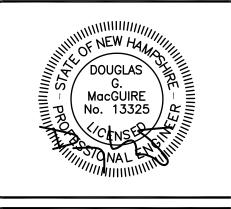
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CHECKED BY: DGM
DATE: FEBRUARY 13, 2020
SCALE: 1"=10'
FILE: 314-XSECT
DEED REF: -

PROJECT:

#### **FIELDSTONE INDUSTRIAL PARK**

34 ROUTE 125 KINGSTON, NH 03848

#### FIELDSTONE MEADOW REALTY, LLC

19 QUIMBY COURT DANVILLE, NH 03819

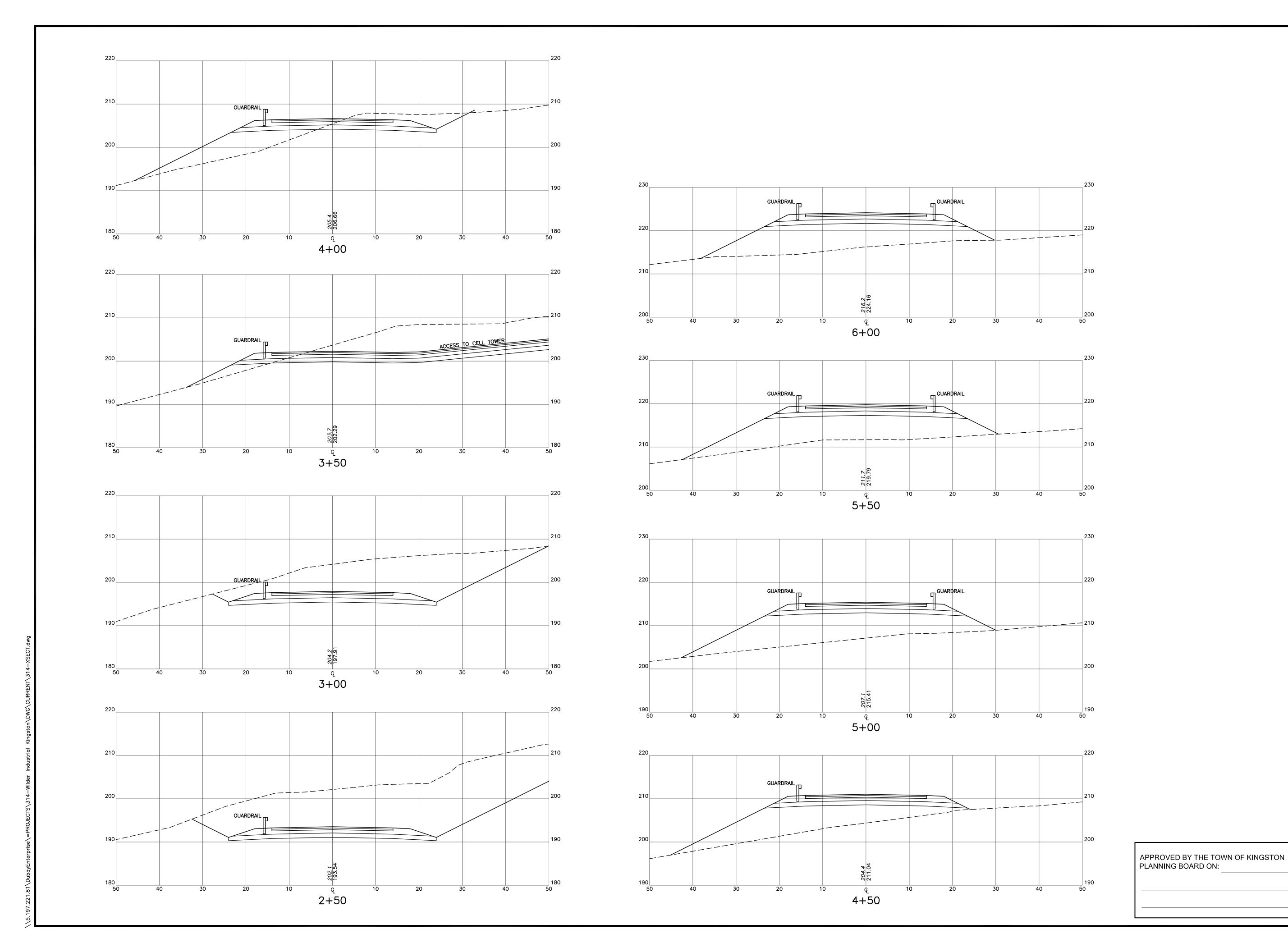
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APPROVED BY THE TOWN OF KINGSTON

PLANNING BOARD ON:

ROADWAY **CROSS SECTIONS-A** 

PROJECT #314 SHEET 14 of 25



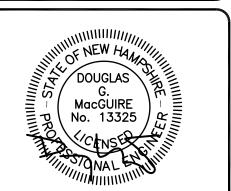


84 Range Road Windham, NH 03087 603-458-6462

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SCALE: 1"=10'
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#### **FIELDSTONE INDUSTRIAL PARK**

34 ROUTE 125 KINGSTON, NH 03848

FIELDSTONE MEADOW

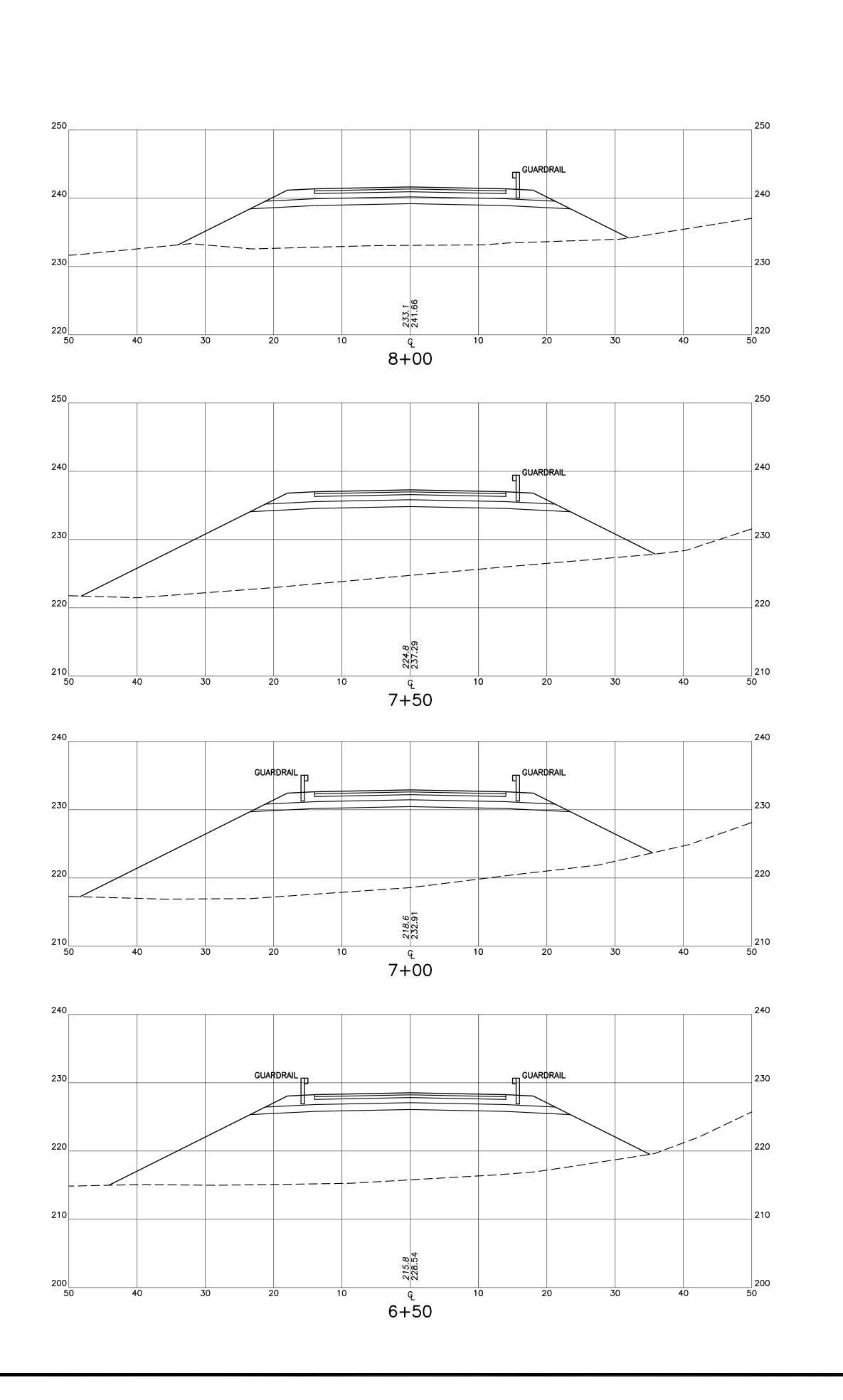
REALTY, LLC 19 QUIMBY COURT

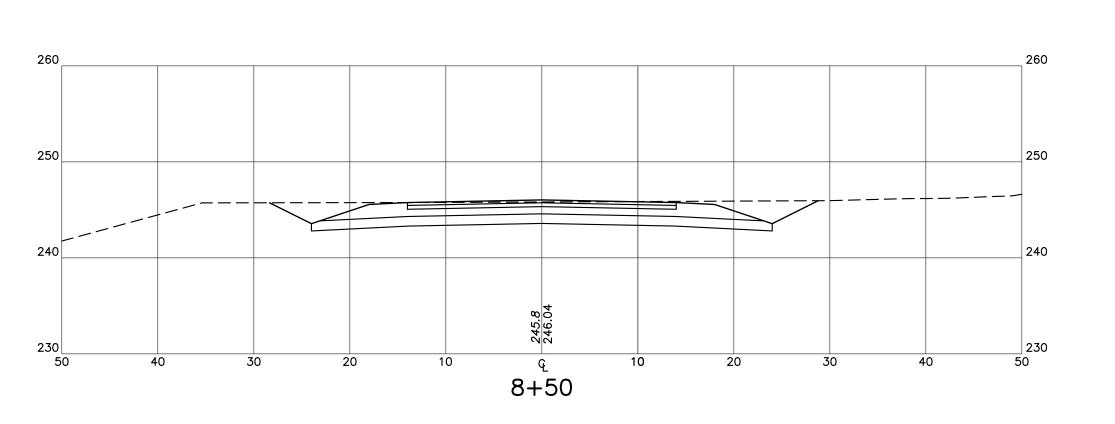
DANVILLE, NH 03819

SHEET TITLE:

ROADWAY **CROSS SECTIONS-B** 

PROJECT #314 SHEET 15 of 25





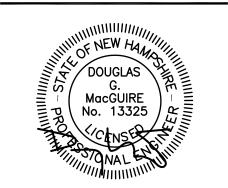
The Dubay Group, Inc.

84 Range Road
Windham, NH 03087
603-458-6462

Engineers

Planners

Surveyors TheDubayGroup.com



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	REVISIONS:			
REV:	DATE:	COMMENT:	BY:	
1	4/17/20	REVS PER TOWN COMMENTS	SJK	

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CHECKED BY: DGM
DATE: FEBRUARY 13, 2020
SCALE: 1"=10'
FILE: 314-XSECT
DEED REF: -

PROJECT:

#### FIELDSTONE INDUSTRIAL PARK

34 ROUTE 125 KINGSTON, NH 03848

#### FIELDSTONE MEADOW REALTY, LLC

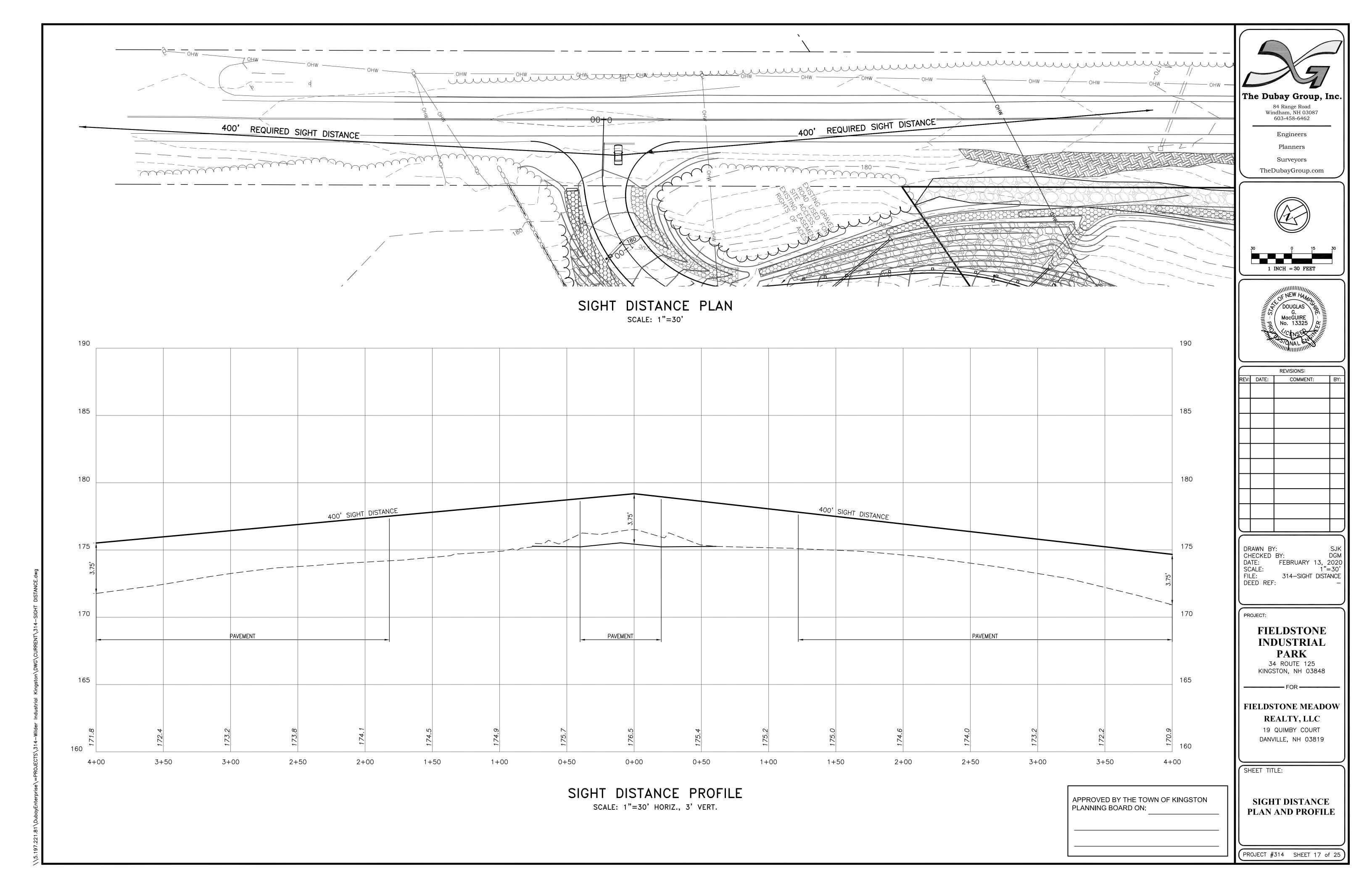
19 QUIMBY COURT DANVILLE, NH 03819

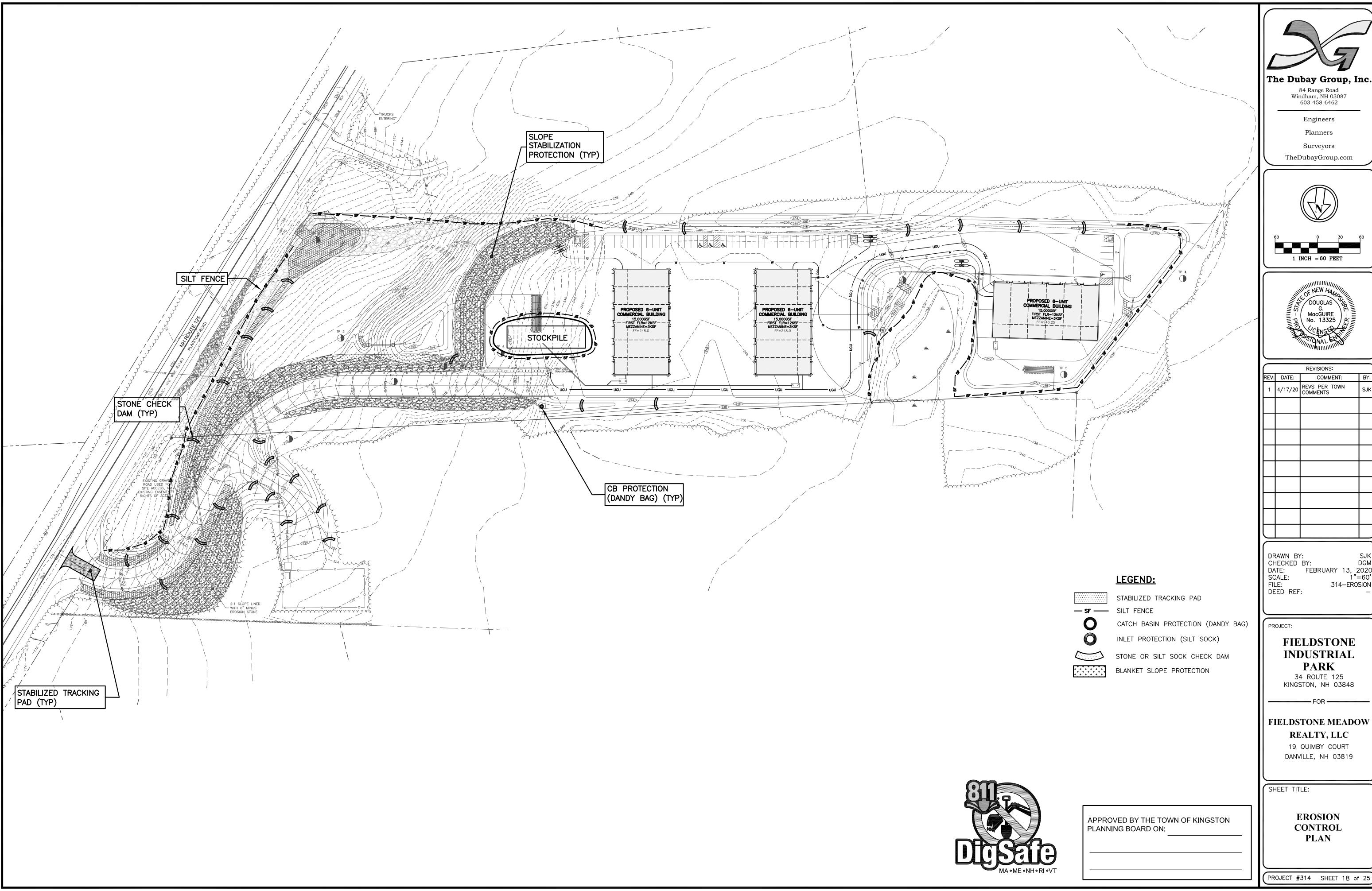
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APPROVED BY THE TOWN OF KINGSTON PLANNING BOARD ON:

ROADWAY CROSS SECTIONS-C

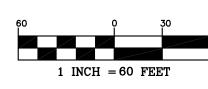
PROJECT #314 SHEET 16 of 25

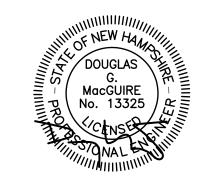




Surveyors







		REVISIONS:			
	REV:	DATE:	COMMENT:	BY:	
	1	4/17/20	REVS PER TOWN COMMENTS	SJK	
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DRAWN BY: SJK
CHECKED BY: DGM
DATE: FEBRUARY 13, 2020
SCALE: 1"=60'
FILE: 314—EROSION
DEED REF: —

#### **FIELDSTONE INDUSTRIAL**

KINGSTON, NH 03848

FIELDSTONE MEADOW REALTY, LLC

> 19 QUIMBY COURT DANVILLE, NH 03819

> > **EROSION CONTROL PLAN**

PROJECT #314 SHEET 18 of 25

#### CONSTRUCTION SEQUENCE

- 1. A PRE-CONSTRUCTION MEETING IS TO BE HELD PRIOR TO CONSTRUCTION WITH NOTICE TO THE OWNER, ALL TOWN DEPARTMENTS, AND TOWN ENGINEER.
- 2. INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED. CLEAR AND GRUB REQUIRED AREAS AS LAYED OUT BY THE SURVEYOR.

FINAL GRADING. DISTURBED AREA MUST BE LIMITED TO NO MORE THAN 5 ACRES OPEN AT ANY ONE TIME.

- 3. LIMIT TOTAL AREA TO BE DISTURBED DURING CONSTRUCTION OF THE SITE AS MUCH AS PRACTICABLE, BEFORE DISTURBED AREAS ARE STABILIZED. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER
- 4. REMOVE AND STOCKPILE MATERIALS AS REQUIRED. STOCKPILE SHALL BE SURROUNDED WITH STRAWBALES TO PREVENT EROSION. STOCKPILE AREAS ARE LIMITED AND THUS MANAGEMENT OF MATERIALS WILL BE REQUIRED.
- 5. PERFORM SITE GRADING. INSTALL DRAINAGE SYSTEMS AND UTILITIES.
- 6. INSTALL PERMANENT STORM WATER TREATMENT SYSTEMS. INSTALL UNDERGROUND UTILITIES AND PLACE EROSION CONTROL MEASURES AROUND ANY CATCH BASINS PRIOR TO DIRECTING ANY RUNOFF TO THEM. DRAINAGE SYSTEMS SHALL BE CONSTRUCTED AND STABILIZED PRIOR TO DIRECTING ANY FLOW TO THEM. ALL SIDE SLOPES SHALL BE STABILIZED WITHIN 72 HOURS.
- 7. FINALIZE GRADING AND PLACEMENT OF SELECTS.
- 8. FINISH PAVING ROADWAY. CLEAN ALL DRAINAGE STRUCTURES.
- 9. COMPLETE PERMANENT LOAMING, SEEDING, AND LANDSCAPING.
- 10. WINTERIZATION EFFORTS FOR AREAS NOT STABILIZED BY NOV. 1ST SHALL BE MADE BY THE APPROPRIATE USE OF MATTING, BLANKETS, MULCH AND SEEDING.
- 11. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

EXPOSURE OF UN-STABILIZED SOILS SHALL BE LIMITED TO LESS THAN 60 DAYS.

- BASE COURSE GRAVELS HAS BEEN INSTALLED IN AREAS TO BE PAVED: A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
- A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED: OR
- EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
- A. SPRING SEEDING USUALLY GIVES THE BEST RESULTS FOR ALL SEED MIXES OR WITH LEGUMES.
- PERMANENT SEEDING SHOULD BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST. IF SEEDING CANNOT BE DONE WITHIN THE SPECIFIED SEEDING DATES, MULCH ACCORDING TO THE NEW HAMPSHIRE STORMWATER MANAGEMENT MANUAL, VOLUME 3, CONSTRUCTION PHASE EROSION AND SEDIMENT CONTROLS AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD

#### 12. ESTABLISHING A STAND

- STONES AND TRASH SHOULD BE REMOVED SO AS NOT TO INTERFERE WITH THE SEEDING AREA. WHERE THE SOIL HAS BEEN COMPACTED BY CONSTRUCTION OPERATIONS, LOOSEN SOIL TO A DEPTH OF 2
- INCHES BEFORE APPLYING FERTILIZER, LIME AND SEED. IF APPLICABLE, FERTILIZER AND ORGANIC SOIL AMENDMENTS SHOULD BE APPLIED DURING THE GROWING
- APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 600 POUNDS PER ACRE OR 13.8 POUNDS PER 1.000 SQUARE FEET OF LOW PHOSPHATE FERTILIZER (N-P205-K20) OR EQUIVALENT. APPLY LIMESTONE (EQUIVALENT TO 50 PERCENT CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB. PER 1,000 SQUARE FEET).
- FERTILIZER SHOULD BE RESTRICTED TO A LOW PHOSPHATE, SLOW RELEASE NITROGEN FERTILIZER
- 14. SEED SHOULD BE SPREAD UNIFORMLY BY A METHOD MOST APPROPRIATE FOR THE SITE. METHODS INCLUDING HAND, CYCLONE SEEDER, DRILL, CULTIPACKER TYPE SEEDER OR HYDROSEEDER. INOCULATE ALL LEGUME SEED WITH THE CORRECT TYPE AND AMOUNT OF INOCULANTS.
- NORMAL SEEDING DEPTH IS FROM 1/4 TO 1/2 INCH. HYDROSEEDING THAT INCLUDES MULCH MAY BE LEFT ON SOIL SURFACE. SEEDING RATES MUST BE INCREASED 10 % WHEN HYDROSEEDING.
- WHERE FEASIBLE, EXCEPT WHERE EITHER A CULTIPACKER TYPE SEEDER OR HYDROSEEDER IS USED, THE SEEDBED SHOULD BE FIRMED FOLLOWING SEEDING OPERATIONS WITH A ROLLER, OR LIGHT DRAG. THE GRADE "A" OF SEEDING MIXTURE SHOULD BE USED WITH THE FOLLOWING SEEDING RATES, BASED ON
- THE SEEDING GUIDE.

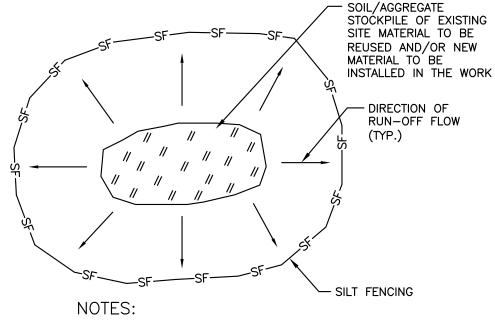
#### POUNDS PER ACRE POUNDS PER 1,000 SQ. FT. TALL FESCUE CREEPING RED FESCUE

#### CONSTRUCTION PHASE

- 1. THE TEMPORARY BMPS ASSOCIATED WITH THIS PROJECT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND LANDOWNER, WHO WILL BE RESPONSIBLE FOR INSPECTION, OPERATION, AND MAINTENANCE.
- 2. EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION OF THE NHDOT". EROSION CONTROL SHALL BE INSTALLED DOWNHILL OF ALL AREAS WHERE WORK WILL EXPOSE UNPROTECTED SOIL TO PREVENT SEDIMENT FROM ENTERING CATCH BASINS, DRAINAGE STRUCTURES AND/OR DRAINAGE WAYS.
- 3. DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING DEVELOPMENT. IN ALL CASES EXPOSURE SHALL BE KEPT TO THE SHORTEST PRACTICAL PERIOD OF TIME. LAND SHALL NOT BE LEF
- 4. STRAW BALE BARRIERS AND SILTATION FENCING SHALL BE INSTALLED WHERE REQUIRED PRIOR TO ANY ON-SITE GRADING OR DISTURBANCE OF EXISTING SURFACE MATERIAL. EROSION CONTROL MEASURES SHALL BE MAINTAINED DURING DEVELOPMENT AND SHALL BE CHECKED PERIODICALLY AND EXCESS SILT SHALL BE REMOVED.
- 5. ALL DISTURBED AREAS WHICH ARE FINISH GRADED SHALL BE LOAMED (6" MINIMUM) AND SEEDED. SEE SEEDING AND FERTILIZER SPECIFICATION. SEE SLOPE DESIGN AND LANDSCAPE PLAN FOR ADDITIONAL INFORMATION.
- 6. ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER SHALL BE MACHINED STRAW MULCHED AND SEEDED WITH SLOPE STABILIZATION SEED MIXTURE TO PREVENT EROSION. STRAW MULCH SHALL BE APPLIED AT A RATE OF 2 TONS/ACRE.
- 7. ALL DRAINAGE SYSTEMS SHALL BE STABILIZED PRIOR TO DIRECTING RUNOFF TO THEM.
- 8. CONTRACTOR SHALL REDUCE AIR BORNE PARTICLES THROUGH THE USE OF WATER AND STREET SWEEPING.
- 9. ALL EROSION CONTROL MEASURES ARE TO BE INSPECTED WEEKLY AND AFTER EVERY 0.5" OF RAINFALL.

ITEM 304.3 OR CRUSHED STONE.

- A. ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR
- ALL AREAS TO BE PLANTED WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR ÉROSION CONTROL BLANKETS APPROPRIATE FOR THÉ DESIGN FLOW CONDITIONS. C. AFTER NOVEMBER 15TH, INCOMPLETE SURFACES TO BE PAVED, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT
- 11. THIS SITE WILL REQUIRE A USEPA NPDES PERMIT FOR STORMWATER DISCHARGE FOR THE SITE CONSTRUCTION SINCE THE DISTURBANCE EXCEEDS ONE ACRE. THE CONSTRUCTION SITE OPERATOR SHALL DEVELOP AND IMPLEMENT A CONSTRUCTION STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH SHALL REMAIN ON SITE AND MADE ACCESSIBLE TO THE PUBLIC. A COMPLETED NOTICE OF TERMINATION (NOT) SHALL BE SUBMITTED TO NPDES PERMITTING AUTHORITY WITHIN 30 DAYS AFTER EITHER OF THE FOLLOWING CONDITIONS HAVE BEEN MET: FINAL STABILIZATION HAS BEEN ACHIEVED ON ALL PORTIONS OF THE SITE FOR WHICH THE PERMITTEE IS RESPONSIBLE; OR ANOTHER OPERATOR/PERMITTEE HAS ASSUMED CONTROL OVER ALL AREAS OF THE SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
- 12. ALTERNATE PERMANENT SEEDING FOR AREAS NOT RECEIVING LAWN OR LANDSCAPING SHALL BE AS FOLLOWS: A. THE NEW ENGLAND EROSION CONTROL/RESTORATION MIX CONTAINS A SELECTION OF NATIVE GRASSES AND WILDFLOWERS DESIGNED TO COLONIZE GENERALLY MOIST, RECENTLY DISTURBED SITES WHERE QUICK GROWTH OF VEGETATION IS DESIRED TO STABILIZE THE SOIL SURFACE. THIS MIX IS PARTICULARLY APPROPRIATE FOR DETENTION BASINS WHICH DO NOT NORMALLY HOLD STANDING WATER. THE PLANTS IN THIS MIX CAN TOLERATE INFREQUENT INUNDATION, BUT NOT CONSTANT FLOODING. IN NEW ENGLAND, THE BEST RESULTS ARE OBTAINED WITH A SPRING OR EARLY FALL SEEDING. SUMMER AND FALL SEEDING CAN BE SUCCESSFUL WITH A LIGHT MULCHING OF WEED-FREE STRAW TO CONSERVE MOISTURE. LATE FALL AND WINTER DORMANT SEEDING REQUIRE A SLIGHT INCREASE IN THE SEEDING RATE. FERTILIZATION IS NOT REQUIRED UNLESS THE SOILS ARE PARTICULARLY INFERTILE.
- APPLICATION RATE: 35 LBS/ACRE 1245 SQ FT/LB SPECIES: SWITCHGRASS (PANICUM VIRGATUM), CREEPING RED FESCUE (FESTUCA RUBRA), VIRGINIA WILD RYE (ELYMUS VIRGINICUS), FOX SEDGE (CAREX VULPINOIDEA), CREEPING BENTGRASS (AGROSTIS STOLONIFERA), SILKY WILD RYE (ELYMUS VILLOSUS), NODDING BUR-MARIGOLD (BIDENS CERNUA), SOFT RUSH (JUNCUS EFFUSUS), GRASS-LEAVED GOLDENROD (SOLIDAGO GRAMINIFOLIA), SENSITIVE FERN (ONOCLEA SENSIBILIS), JOE-PYE WEED (EUPATORIUM MACULATUM), BONESET (EUPATORIUM PERFOLIATUM), FLAT-TOP ASTER (ASTER UMBELLATUS), NEW YORK ASTER (ASTER NOVI-BELGII), BLUE VERVAIN (VERBENA HASTATA).
- 13. ONLY WATER SHALL BE USED FOR DUST CONTROL IN APPROPRIATE AREAS.
- 14. IF, DURING CONSTRUCTION, IT COMES APPARENT THAT ADDITIONAL EROSION CONTROL MEASURES ARE REQUIRED TO STOP ANY EROSION ON THE CONSTRUCTION SITE DUE TO ACTUAL SITE CONDITIONS, THE CONTRACTOR SHALL BE REQUIRED TO IMMEDIATELY INSTALL AND MAINTAIN THE NECESSARY EROSION PROTECTION.



1. ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.

2. RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.

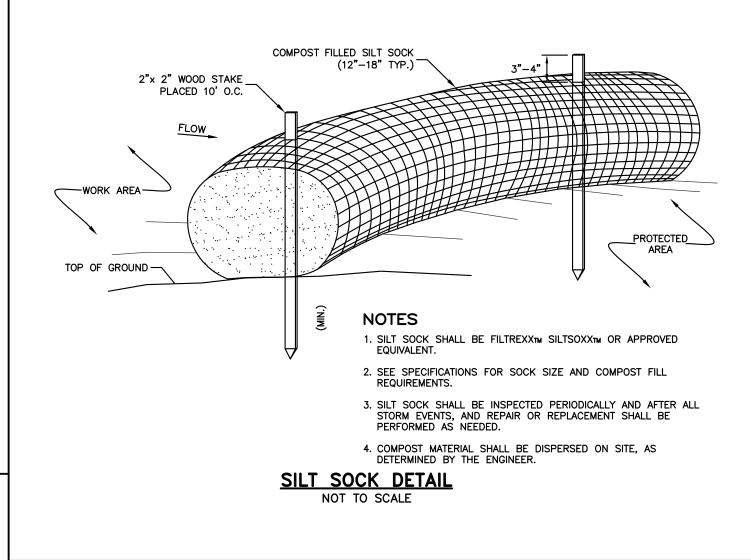
3. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.

MATERIALS STOCKPILE DETAIL

CHANNEL THROUGHOUT

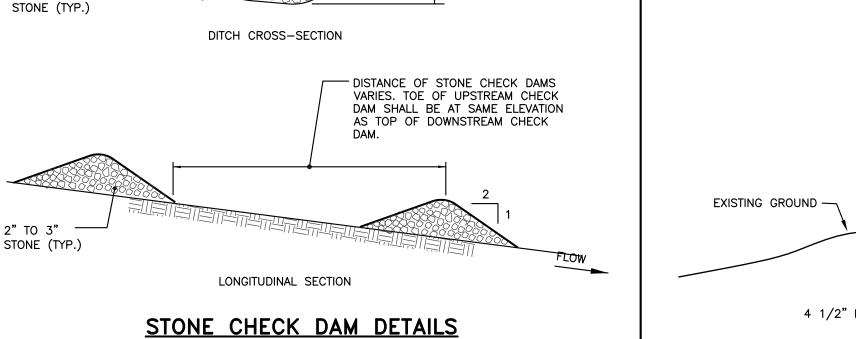
WIDTH OF CHECK DAM.

2" TO 3"

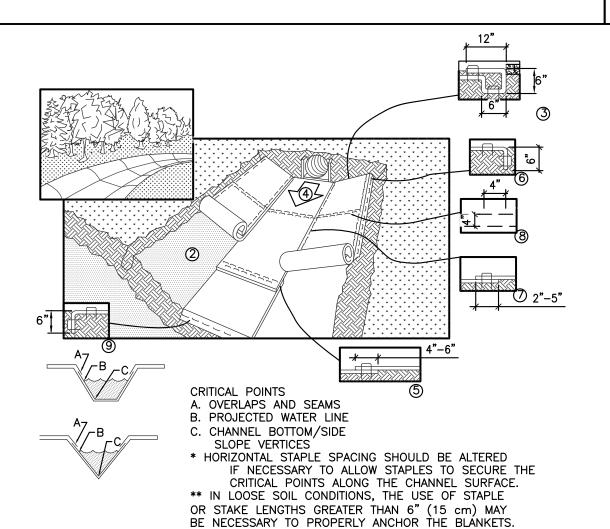


YKYRARYYYY YEY, YEYNY KANARAN ANARARYAN YA YA YAYARAN YAYAN YA YAYAAN YA YAYAAN YA YAYAA KAAYAA KAAYAA KAAYAA K

TITEM 641.04 6" ROLLED LOAM & SEED 642. LIMESTONE 643.11 FERTILIZER —CENTER OF STONE CHECK DAMS 645.1 MULCH MINIMUM 2/3 DEPTH OF ——— SHALL BE MIN. 6" BELOW SIDES. 5% (MAX.) LOAM & SEED DETAIL



4 1/2" LOAM & SEED COMPACTED SUBGRADE GRASS LINED TREATMENT SWALE



**ROLLED EROSION CONTROL MATTING** 

CHANNEL INSTALLATION SPECIFICATIONS

1. INSTALL PRODUCT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS

2. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH THE PAPER

3. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE BLANKET IN A 6"DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.

4. ROLL CENTER BLANKET IN DIRECTION OF WATER FLOW IN BOTTOM OF CHANNEL BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE

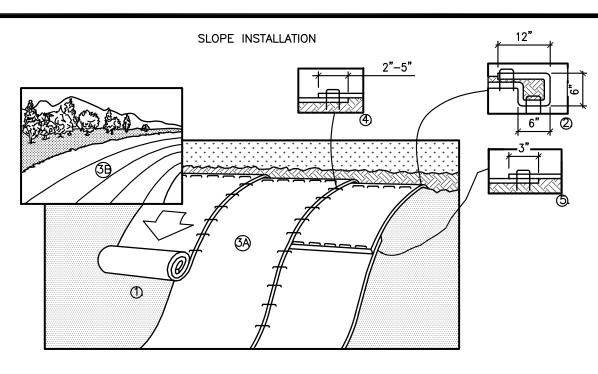
5. PLACE CONSECUTIVE BLANKETS END OVER END (SHINGLE STYLE) WITH A 4"-6" OVERLAP. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4"(10") ON CENTER TO SECURE BLANKETS

6. FULL-LENGTH EDGE OF BLANKETS AT TOP OF SIDE SLOPES MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6"DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

7. ADJACENT BLANKETS MUST BE OVERLAPPED APPROXIMATELY 2"-5" (DEPENDING ON BLANKET TYPE) AND STAPLED TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE BLANKET BEING OVERLAPPED.

8. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30' TO 40' INTERVALS. USE A DOUBLE ROW OF STAPLES STAGGERED 4" APART AND 4" ON CENTER OVER ENTIRE WIDTH OF CHANNEL.

THE TERMINAL END OF THE BLANKETS MUST BE ANCHORED WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN A 6"DEEP X 6"WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.



#### MATTING INSTALLATION NOTES

. PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.

2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.

3. ROLL THE BLANKETS (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.

4. THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2"-5" OVERLAP DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT. PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.

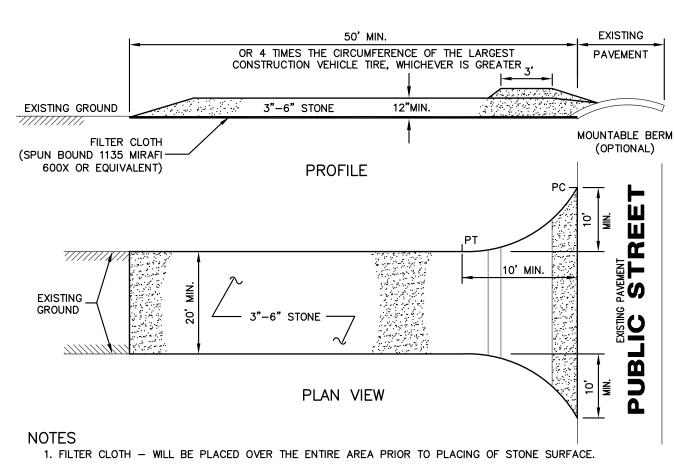
5. CONSECUTIVE BLANKETS SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET

6. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.

7. INSTALL PRODUCT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

DUE TO THE POTENTIAL OF ENDANGERED SPECIES ON SITE. CONTRACTORS SHALL USE ROLLMAX BIONET C125BN EROSION CONTROL BLANKET OR EQUIVALENT. BLANKETS ARE MADE OF 100% COCONUT FIBER AND ARE 100% BIODEGRADABLE.

#### SLOPE PROTECTION EROSION CONTROL MATTING



- 2. WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE
- 3. MAINTENANCE THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS—OF—WAY MUST BE REMOVED IMMEDIATELY.
- 4. WASHING WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- 5. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT.

<u>USDA-SCS STABILIZED TRACKING PAD</u>

APPROVED BY THE TOWN OF KINGSTON

PLANNING BOARD ON:

The Dubay Group, Inc.

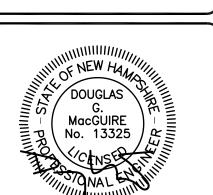
84 Range Road

Windham, NH 03087 603-458-6462

Engineers

Planners

Surveyors TheDubayGroup.com



REVISIONS

COMMENT: DATF: REVS PER TOWN 4/17/20 COMMENTS

DRAWN BY: CHECKED BY: DATE: FEBRUARY 13, 2020 SCALE: AS SHOWN 314-DETAILS DEED REF:

PROJECT:

**FIELDSTONE INDUSTRIAL** PARK

> 34 ROUTE 125 KINGSTON, NH 03848

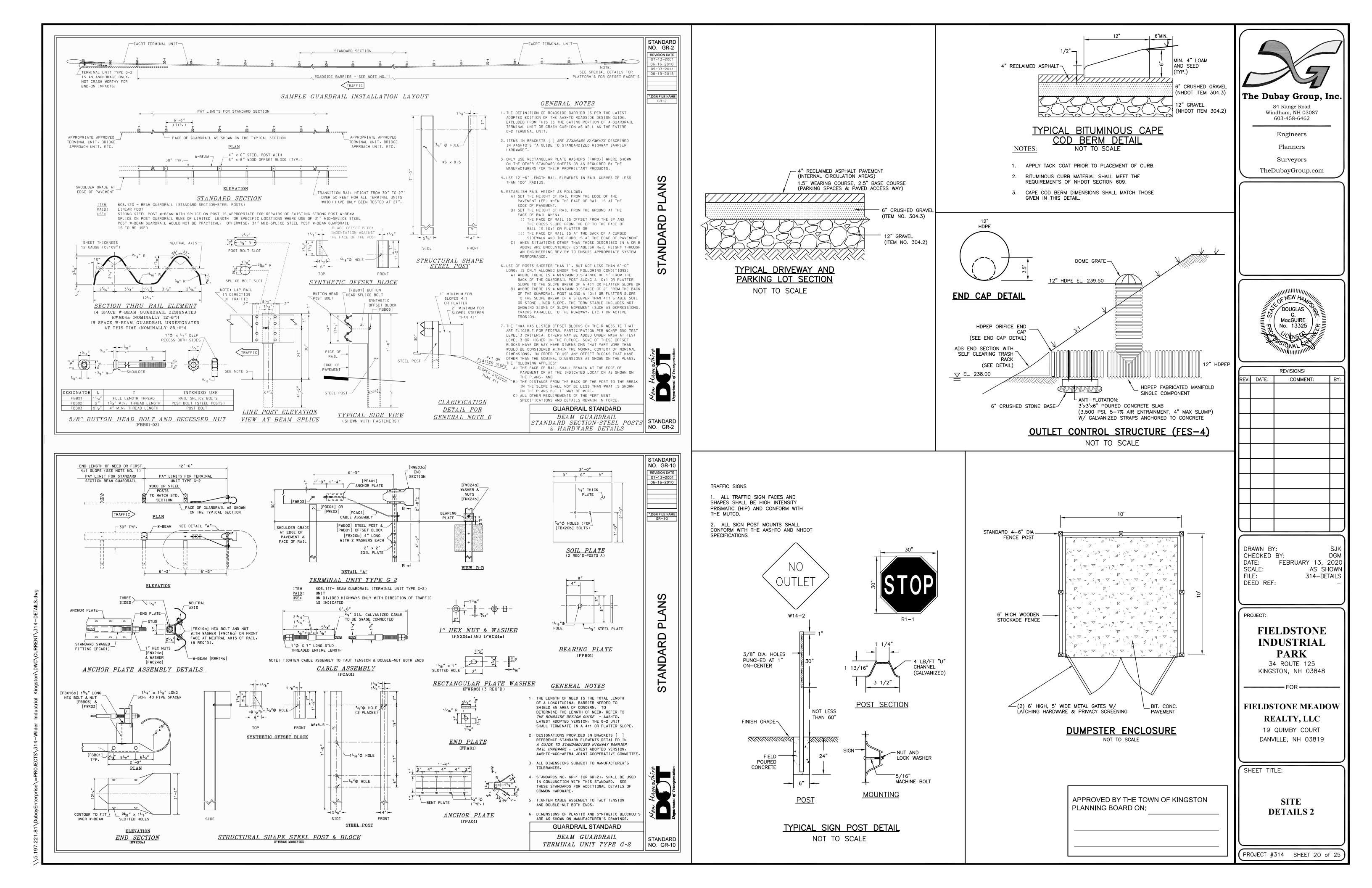
FIELDSTONE MEADOW REALTY, LLC

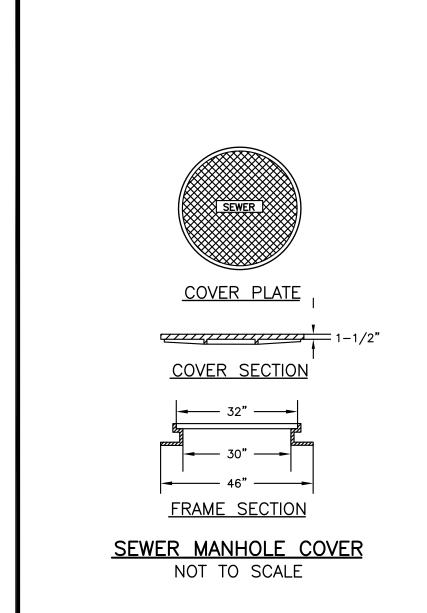
> 19 QUIMBY COURT DANVILLE, NH 03819

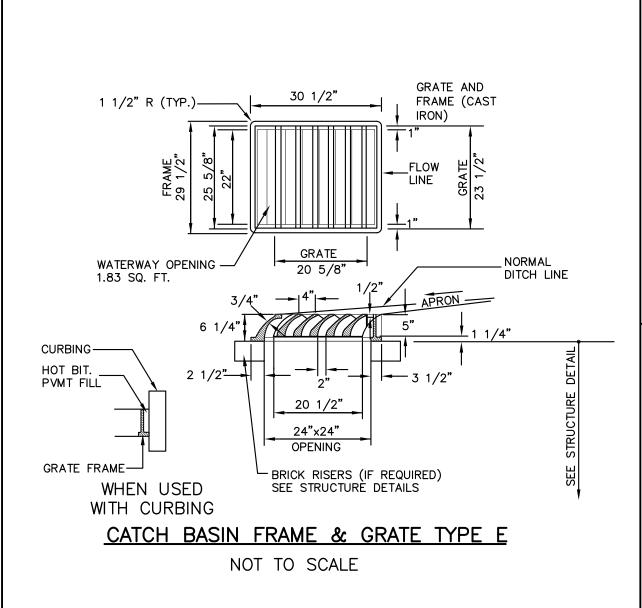
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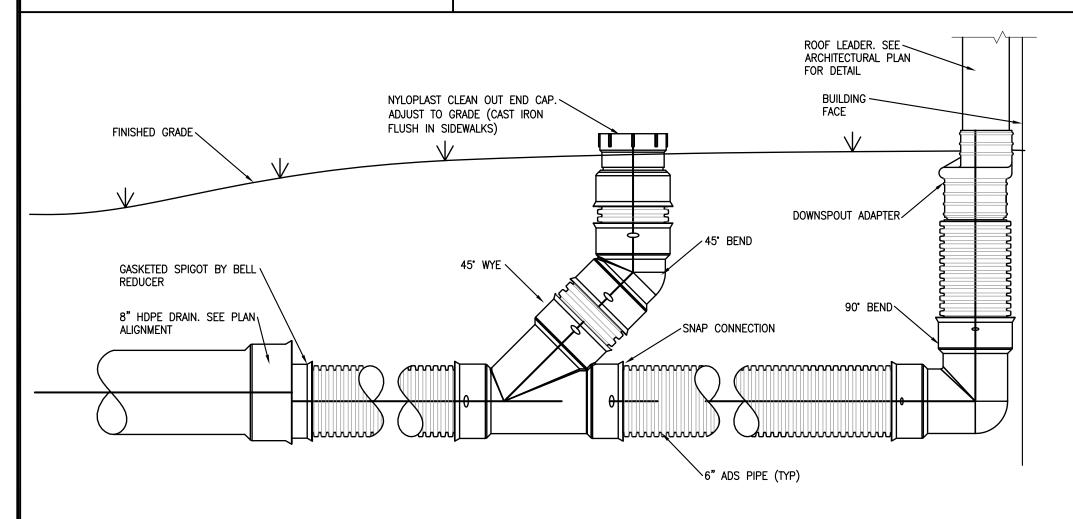
**DETAILS** 1

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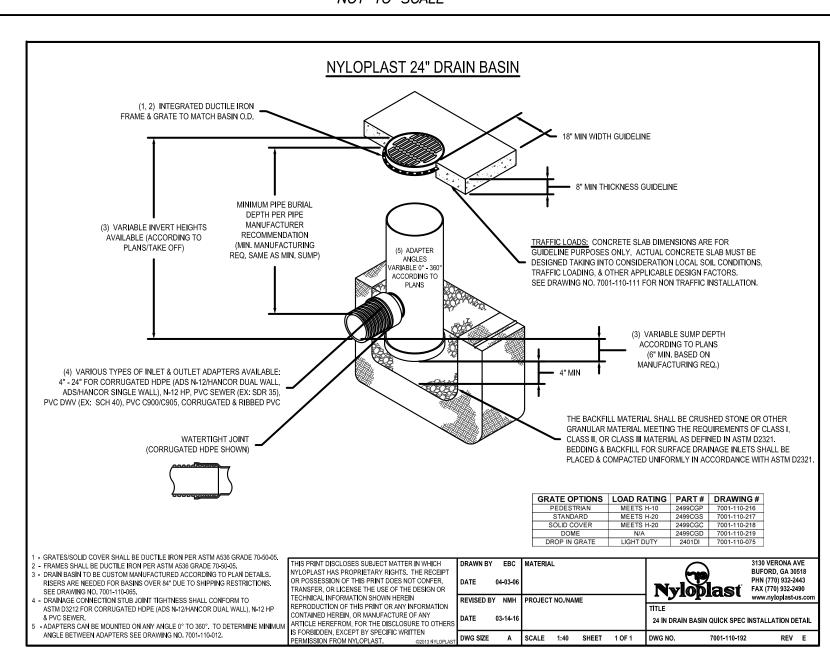


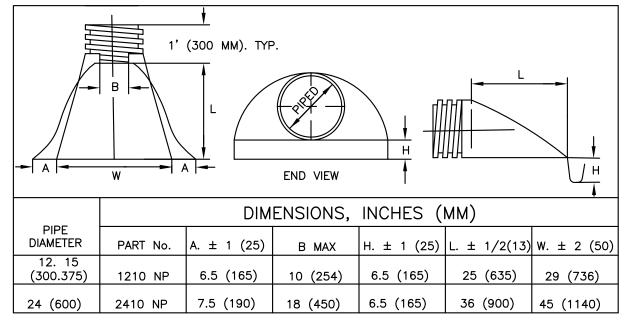






ADS ROOF DRAIN DETAIL





#### **ADS END SECTION DETAIL**



#### **GENERAL NOTES**

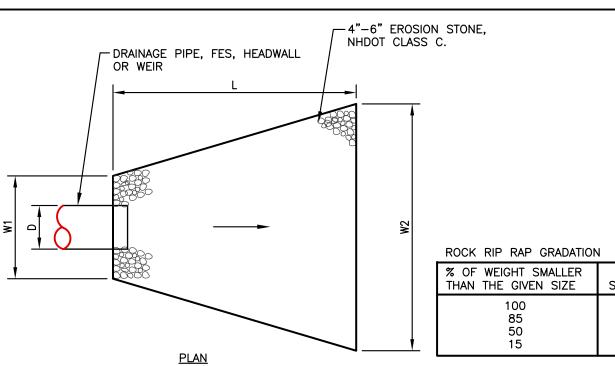
- ALL PAVEMENT MARKINGS SHALL BE IN CONFORMANCE WITH THE CURRENT EDITION OF MUTCD.
- 2. WIDTH OF LINES SHALL VARY NO MORE THAN = 1/4 INCH FROM THAT
- THE WET FILM THICKNESS OF A PAINTED LINE SHALL BE A MINIMUM OF 15 MILS THROUGHOUT THE ENTIRE WIDTH AND LENGTH OF LINE SPECIFIED.

STOP LINE

- 4. OVERSPRAY SHALL BE KEPT TO AN ABSOLUTE MINIMUM.
- 5. STOP LINES & CROSSWALKS SHALL BE WHITE THERMOPLASTIC.
- 6. CROSSWALK BARS SHALL BE 24" WIDTH AND 10' IN LENGTH WITH 24"

#### TYPICAL PAVEMENT STRIPING DETAILS

NOT TO SCALE



<u>MAINTENANCE</u>

SIZE OF STONE IN INCHES 4.5 TO 6.0 3.9 TO 5.4 3.0 TO 4.5 0.9 TO 1.5

STEEL PIPE CONCRETE FILL-REFER TO SITE PLAN FOR PIPE DIAMETER GUARD POST TO BE PLUMB SANDBLASTED, PRIMED-AND PAINTED SAFETY YELLOW CONCRETE RAISED ISLAND PAVING COURSES COMPACTED -SUBGRADE CONCRETE -1'-6" TYPICAL BOLLARD DETAIL NOT TO SCALE

6" SCH 40

LIFT STRAPS DANDY BAG STANDARD FABRIC IS AN ORANGE WOVEN MONOFILAMENT DUMPING STRAP ALLOWS FOR EASY REMOVAL OF CONTENTS

INSTALLATION

INSTALLATION: REMOVE THE GRATE FROM CATCH BASIN. IF USING OPTIONAL OIL ABSORBENTS; PLACE ABSORBENT PILLOW IN UNIT. STAND THE GRATE ON END. MOVE THE TOP LIFTING STRAPS OUT OF THE WAY AND PLACE THE GRATE INTO THE DANDY BAG II SO THAT THE GRATE IS BELOW THE TOP STRAPS AND ABOVE THE LOWER STRAPS. HOLDING THE LIFTING DEVICES, INSERT THE GRATE INTO THE INLET. MAINTENANCE

MAINTENANCE: REMOVE ALL ACCUMULATED SEDIMENT AND DEBRIS FROM VICINITY OF UNIT AFTER EACH STORM EVENT. AFTER EACH STORM EVENT AND AT REGULAR INTERVALS, LOOK INTO THE DANDY BAG
II. IF THE CONTAINMENT AREA IS MORE THAN 1/3 FULL OF SEDIMENT, THE UNIT MUST BE EMPTIED. TO EMPTY UNIT, LIFT THE UNIT OUT OF THE INLÉT USING THE LIFTING STRAPS AND REMOVE THE GRATE. IF USING OPTIONAL OIL ABSORBENTS; REPLACE ABSORBENT WHEN NEAR SATURATION.

SILT SCREEN FABRIC 1-3/4"X1-3/4" (MIN) METAL OR WOOD POST OR STAKE FABRIC ANCHORAGE TRENCH W/TAMPED NATURAL ŚOIL DIRECTION OF RUNOFF FLOW OLD GROUND OLD GROUND SILT FENCE SUPPORT POST ANCHORAGE MATERIAL, IF REQUIRED END VIEW **ELEVATION** 

#### CRITERIA FOR SILT FENCES:

- 1) SILT FENCE FILTER CLOTH: THE FABRIC FOR THE SILT FENCE SHALL MEET THE FOLLOWING SPECIFICATIONS:

FABRIC PROPERTIES	VALUES	TEST METHOD
GRAB TENSILE STRENGTH (lbs)	90	ASTM D1682
ELONGATION AT FAILURE (%)	50	ASTM 1682
MULLEN BURST STRENGTH (PSI	) 190	ASTM D3786
PUNCTURE STRENGTH (lbs)	40	ASTM D751
EQUIVALENT OPENING SIZE	40-80	US STD SIEVE

- 2) FENCE POSTS (FOR FABRICATED UNITS) THE POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND SPACED A MINIMUM OF 6 FEET. WOOD POSTS WILL BE OF SOUND QUALITY HARDWOOD WITH A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- 3) PREFABRICATED UNITS PREFABRICATED UNITS MAY BE USED IN LIEU OF THE ABOVE METHOD PROVIDING: (1) THE FILTER CLOTH AND FENCE POSTS MEET THE ABOVE CRITERIA; AND (2) THE UNIT IS INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.

#### MAINTENANCE:

- 1) SILT FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REPAIRS THAT ARE REQUIRED SHALL BE MADE IMMEDIATELY.
- 2) IF THE FABRIC ON A SILT FENCE SHOULD DECOMPOSE OR BECOME INEFFECTIVE DURING THE EXPECTED LIFE OF THE FENCE, THE FABRIC SHALL BE REPLACED WITHIN 24 HOURS.

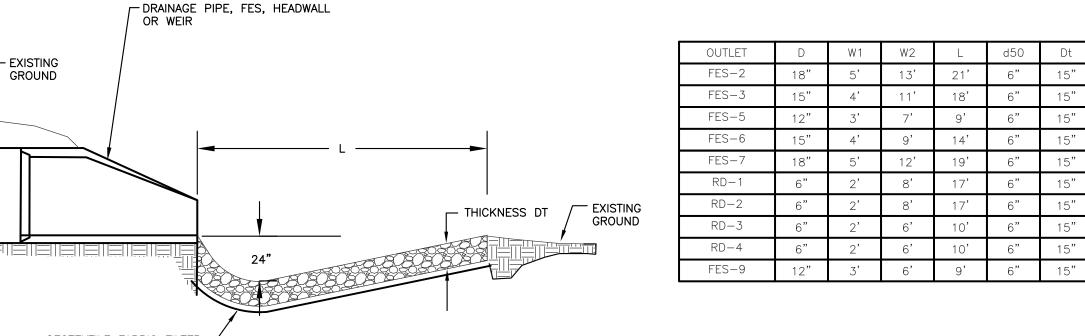
- 3) SEDIMENT DEPOSITS SHOULD BE INSPECTED AFTER EVERY STORM EVENT. THE DEPOSITS SHOULD BE REMOVED WHEN THEY REACH APPROXIMATELY ONE-HALF THE HEIGHT OF THE
- 4) SEDIMENT DEPOSITS THAT ARE REMOVED OR LEFT IN PLACE AFTER THE FABRIC HAS BEEN REMOVED SHALL BE GRADED TO CONFORM WITH THE EXISTING TOPOGRAPHY AND VEGETATED.

#### CONSTRUCTION SPECIFICATIONS:

- 1) THE GEOTEXTILE FABRIC SHALL MEET THE DESIGN CRITERIA FOR SILT FENCES.
- 2) THE FABRIC SHALL BE <u>EMBEDDED A MINIMUM OF 8 INCHES</u>
  <u>INTO THE GROUND</u> AND THE SOIL COMPACTED OVER THE
  EMBEDDED FABRIC.
- 3) FILTER CLOTH SHALL BE FASTENED SECURELY TO THE WOODEN STAKES EVERY 12 INCHES.
- 4) WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6 INCHES, FOLDED, AND STAPLED TO WOOD STAKE.
- 5) POSTS SHALL BE A MINIMUM OF 36 INCHES LONG AND DRIVEN A MINIMUM OF 16 INCHES INTO THE GROUND, AND OF SOUND QUALITY HARDWOOD AND SHALL HAVE A MINIMUM CROSS SECTIONAL AREA OF 3.0 SQUARE INCHES.
- 6) MAINTENANCE SHALL BE PERFORMED AS NEEDED TO PREVENT BULGES IN THE SILT FENCE DUE TO DEPOSITION OF SEDIMENT.

#### SILTATION FENCING DETAIL

NOT TO SCALE



STONE LINED OUTLET PROTECTION

SHEET TITLE: APPROVED BY THE TOWN OF KINGSTON PLANNING BOARD ON:

**DETAILS 3** 

PROJECT #314 SHEET 21 of 25

The Dubay Group, Inc. 84 Range Road

Windham, NH 03087

603-458-6462

Engineers

Planners

Surveyors

TheDubayGroup.com

E NEW HA

DOUGLAS

MacGUIRE

No. 13325

REVISIONS:

4/17/20 COMMENTS

DRAWN BY:

DEED REF:

PROJECT:

DATE:

SCALE:

FILE:

CHECKED BY:

FEBRUARY 13, 2020

**FIELDSTONE** 

**INDUSTRIAL** 

**PARK** 

34 ROUTE 125

KINGSTON, NH 03848

FIELDSTONE MEADOW

REALTY, LLC

19 QUIMBY COURT

DANVILLE, NH 03819

AS SHOWN

314-DETAILS

COMMENT:

REVS PER TOWN

GEOTEXTILE FABRICS SHALL BE PROTECTED FROM PUNCTURE OR TEARING DURING THE PLACEMENT OF THE ROCK RIPRAP. DAMAGED AREAS IN THE FABRIC SHALL BE REPAIRED BY PLACING A PIECE OF FABRIC OVER THE DAMAGED AREA OR BY COMPLETE REPLACEMENT OF THE FABRIC. ALL OVERLAPS REQUIRED FOR REPAIRS OR JOINING TWO PIECES OF FABRIC SHALL BE A MINIMUM OF 12 INCHES.

THE SUBGRADE, GEOTEXTILE FABRIC, AND RIPRAP

. THE ROCK OR GRAVEL USED FOR RIPRAP SHALL

SHALL BE PREPARED TO THE LINES AND

CONFORM TO THE SPECIFIED GRADATION.

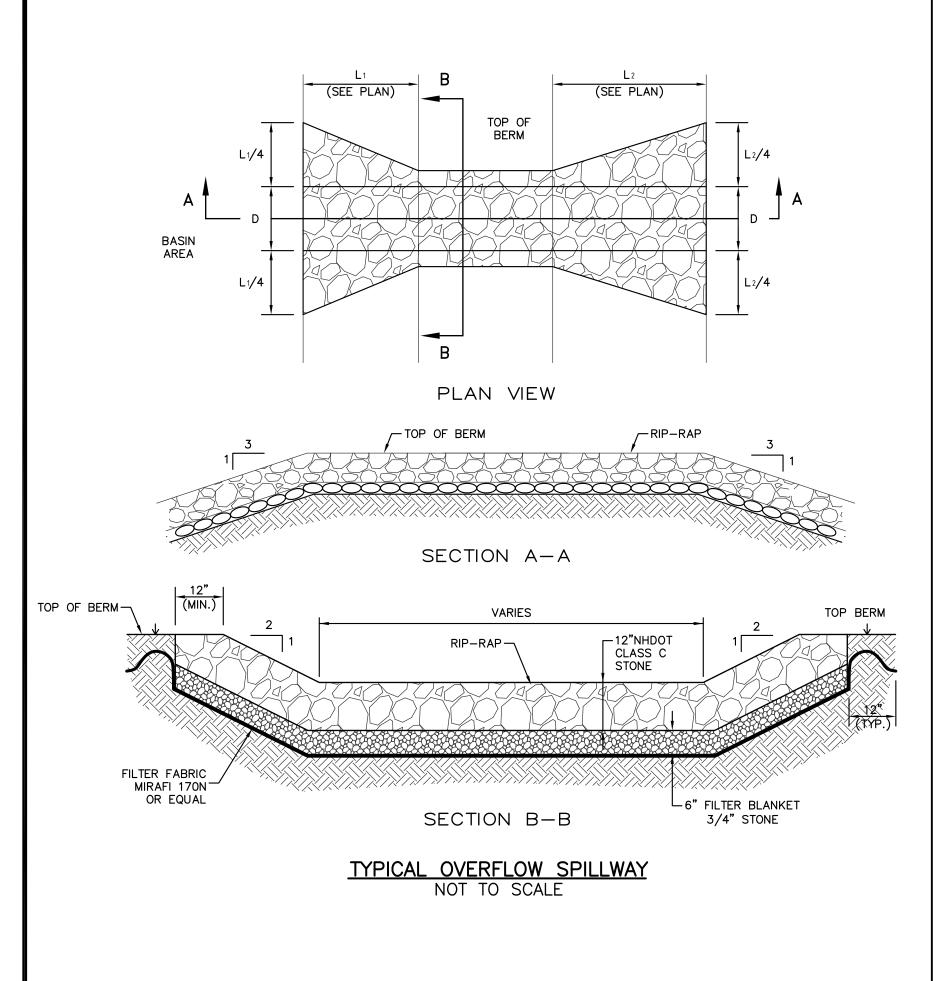
GRADES SHOWN ON THE PLANS.

**CONSTRUCTION NOTES:** 

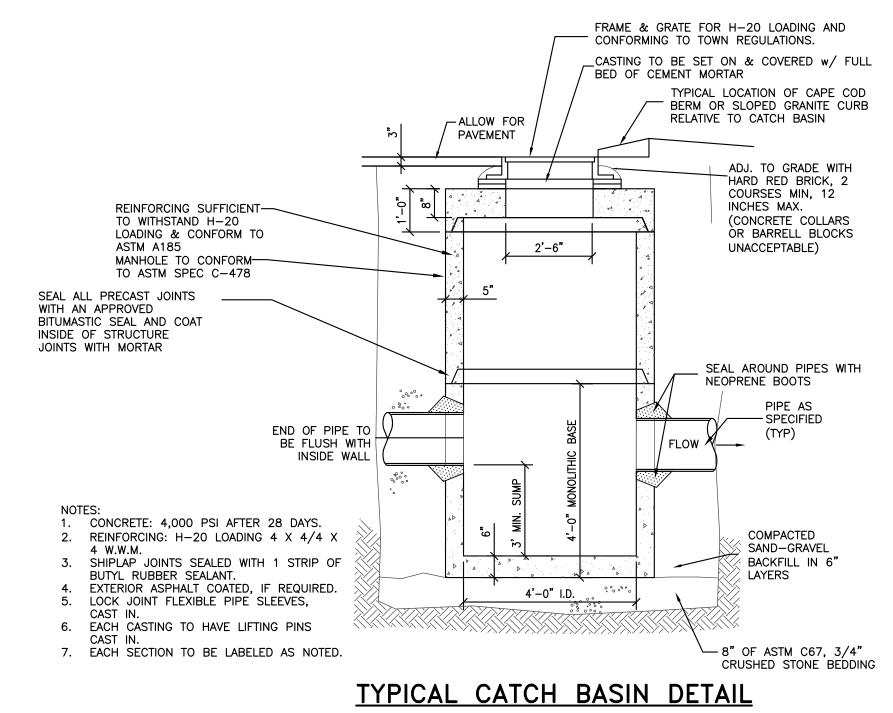
. STONE FOR THE RIPRAP MAY BE PLACED BY EQUIPMENT AND SHALL BE CONSTRUCTED TO THE FULL LAYER THICKNESS IN ONE OPERATION AND IN SUCH A MANNER AS TO PREVENT SEGREGATION OF THE STONE SIZES.

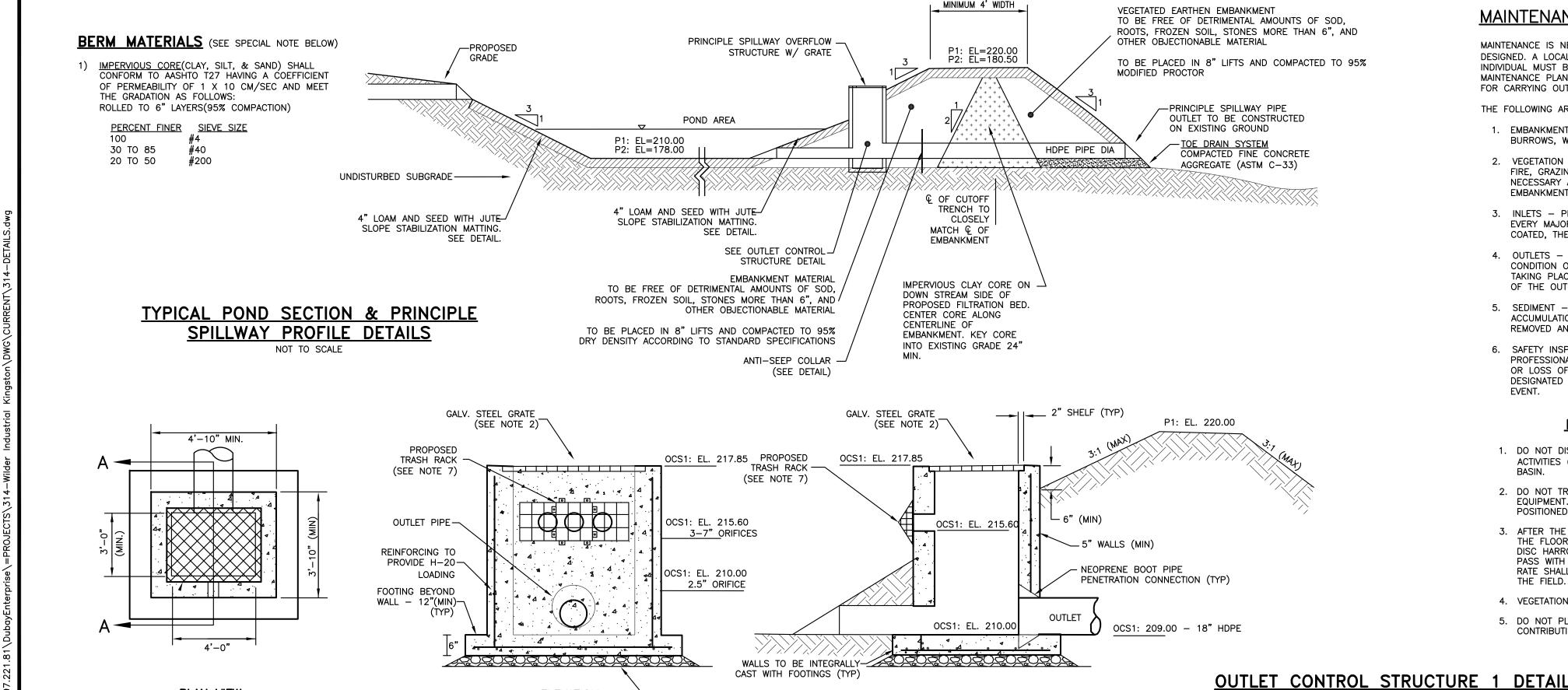
. THE MEDIAN STONE DIAMETER FOR THE RIPRAP APRON IS d50. FIFTY PERCENT BY WEIGHT OF THE RIPRAP MIXTURE SHALL BE SMALLER THAN THE MEDIAN STONE SIZE. THE LARGEST STONE SIZE IN THE MIXTURE SHALL BE 1.5 TIMES THE 1. THE OUTLET PROTECTION SHOULD BE CHECKED AT LEAST ANNUALLY AND AFTER EVERY MAJOR STORM WITHIN THE GROWING STABILIZATION PERIOD. IF THE RIPRAP HAS BEEN DISPLACED, UNDERMINED OR DAMAGED, IT SHOULD BE REPAIRED IMMEDIATELY. THE CHANNEL IMMEDIATELY BELOW THE OUTLET SHOULD BE CHECKED TO SEE THAT EROSION IS NOT OCCURRING. THE DOWNSTREAM CHANNEL SHOULD BE KEPT CLEAR OF OBSTRUCTIONS SUCH AS FALLEN TREES, DEBRIS, AND SEDIMENT THAT COULD CHANGE FLOW PATTERNS AND/OR TAILWATER DEPTHS ON THE PIPES. REPAIRS MUST BE CARRIED OUT IMMEDIATELY TO AVOID ADDITIONAL DAMAGE TO THE OUTLET PROTECTION APRON.

GEOTEXTILE FABRIC FILTER (MIRAFI 180N OR APPROVED EQUAL) CROSS SECTION



PLAN VIEW





6"-3/4" CRUSHED

STONE BEDDING

SECTION A-A

**ELEVATION** 

#### CONSTRUCTION CRITERIA:

1. FOUNDATION PREPARATION - THE FOUNDATION AREA SHALL BE CLEARED OF TREES, LOGS, STUMPS, ROOTS, BRUSH, BOULDERS, SOD, AND RUBBISH. IF NEEDED TO ESTABLISH VEGETATION, THE TOPSOIL AND SOD SHALL BE STOCKPILED AND SPREAD ON THE COMPLETED DAM AND SPILLWAYS. FOUNDATION SURFACES SHALL BE SLOPED NO STEEPER THAN 1:1. THE FOUNDATION AREA SHALL BE THOROUGHLY SCARIFIED BEFORE PLACEMENT OF THE MATERIAL. THE SURFACE SHALL HAVE MOISTURE ADDED OR IT SHALL BE COMPACTED IF NECESSARY SO THAT THE FIRST LAYER OF FILL MATERIAL CAN BE COMPACTED AND BONDED TO THE FOUNDATIONS.

THE CUTOFF TRENCH AND ANY OTHER REQUIRED EXCAVATIONS SHALL BE DUG TO THE LINES AND GRADES SHOWN ON THE PLANS OR AS STAKED IN THE FIELD. IF THEY ARE SUITABLE, EXCAVATED MATERIALS SHALL BE USED IN THE PERMANENT FILL.

FOUNDATION AREAS SHALL BE KEPT FREE OF STANDING WATER WHEN FILL IS BEING PLACED ON THEM.

EXISTING STREAM CHANNELS IN THE FOUNDATION AREA SHALL BE SLOPED NO STEEPER THAN 1:1 AND DEEPENED AND WIDENED AS NECESSARY TO REMOVE ALL STONES, GRAVEL, SAND, STUMPS, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AND TO ACCOMMODATE COMPACTION EQUIPMENT.

2. FILL PLACEMENT - THE MATERIAL PLACED IN THE FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOD, ROOTS, FROZEN SOIL, STONES MORE THAN 6 INCHES IN DIAMETER (EXCEPT FOR ROCK FILLS), AND OTHER OBJECTIONABLE MATERIAL.

SELECTED BACKFILL MATERIAL SHALL BE PLACED AROUND STRUCTURES, PIPE CONDUITS, AND ANTISEEP COLLARS AT ABOUT THE SAME RATE ON ALL SIDES TO PREVENT DAMAGE FROM UNEQUAL LOADING.

THE PLACING AND SPREADING OF FILL MATERIAL SHALL BE STARTED AT THE LOWEST POINT OF THE FOUNDATION AND THE FILL BROUGHT UP IN HORIZONTAL LAYERS OF SUCH THICKNESS THAT THE REQUIRED COMPACTION CAN BE OBTAINED. THE FILL SHALL BE CONSTRUCTED IN CONTINUOUS HORIZONTAL LAYERS EXCEPT WHERE OPENINGS OR SECTIONALIZED FILLS ARE REQUIRED. IN THOSE CASES, THE SLOPE OF THE BONDING SURFACES BETWEEN THE EMBANKMENT IN PLACE AND THE EMBANKMENT TO BE PLACED SHALL NOT BE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL. THE BONDING SURFACE SHALL BE TREATED THE SAME AS THAT SPECIFIED FOR THE FOUNDATION SO AS TO INSURE A GOOD

THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFER SUBSTANTIALLY IN TEXTURE OF GRADATION FROM THE SURROUNDING MATERIAL. IF IT IS NECESSARY TO USE MATERIALS OF VARYING TEXTURE AND GRADATION. THE MORE IMPERVIOUS MATERIAL SHALL BE PLACED IN THE CENTER AND UPSTREAM PARTS OF THE FILL. IF ZONED FILLS OF SUBSTANTIALLY DIFFERING MATERIALS ARE SPECIFIED, THE ZONES SHALL BE PLACED ACCORDING TO THE LINES AND GRADES SHOWN ON THE DRAWINGS. THE COMPLETE WORK SHALL CONFORM TO THE LINES, GRADES, AND ELEVATIONS SHOWN ON THE DRAWINGS OR AS STAKED IN THE

- 3. MOISTURE CONTROL THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE REQUIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL HAVE WATER ADDED AND MIXED UNTIL THE REQUIREMENT IS MET.
- 4. COMPACTION CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER THE AREAS OR EACH LAYER OF FILL TO INSURE THAT THE REQUIRED COMPACTION IS OBTAINED. SPECIAL EQUIPMENT SHALL BE USED IF NEEDED TO OBTAIN THE REQUIRED COMPACTION.
- IF A MINIMUM REQUIRED DENSITY IS SPECIFIED, EACH LAYER OF FILL SHALL BE COMPACTED AS NECESSARY TO OBTAIN THAT DENSITY.
- FILL ADJACENT TO STRUCTURES, PIPE CONDUITS, AND ANTISEEP COLLARS SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY MEANS OF HAND TAMPING OR MANUALLY DIRECTED POWER TAMPER OR PLATE VIBRATORS. FILL ADJACENT TO CONCRETE STRUCTURES SHALL NOT BE COMPACTED UNTIL THE CONCRETE IS STRONG ENOUGH TO SUPPORT THE LOAD.
- 5. PROTECTION A PROTECTIVE COVER OF VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SURFACES OF THE EMBANKMENT. SPILLWAY. AND BORROW AREA IF SOIL AND CLIMATIC CONDITIONS PERMIT. IF SOIL OR CLIMATIC CONDITIONS PRECLUDE THE USE OF VEGETATION AND PROTECTION IS NEEDED, NON-VEGETATIVE MEANS, SUCH AS MULCHES OR GRAVEL, MAY BE USED. IN SOME PLACES, TEMPORARY VEGETATION MAY BE USED UNTIL CONDITIONS PERMIT ESTABLISHMENT OF PERMANENT VEGETATION. THE EMBANKMENT AND SPILLWAY SHALL BE FENCED IF NECESSARY TO PROTECT THE VEGETATION.

SEEDBED PREPARATION, SEEDING, FERTILIZING, AND MULCHING SHALL COMPLY WITH THE APPROPRIATE VEGETATIVE BMPS.

- 6. CONCRETE THE MIX DESIGN AND TESTING OF CONCRETE SHALL BE CONSISTENT WITH THE STRENGTH REQUIREMENTS OF THE JOB. MIX REQUIREMENTS OR NECESSARY STRENGTH SHALL BE SPECIFIED. THE TYPE OF CEMENT, AIR ENTRAINMENT, SLUMP, AGGREGATE, OR OTHER PROPERTIES SHALL BE SPECIFIED IF NECESSARY. ALL CONCRETE IS TO CONSIST OF A WORKABLE MIX THAT CAN BE PLACED AND FINISHED IN AN ACCEPTABLE MANNER, NECESSARY CURING SHALL BE SPECIFIED. REINFORCING STEEL SHALL BE PLACED AS INDICATED ON THE PLANS AND SHALL BE HELD SECURELY IN PLACE DURING CONCRETE PLACEMENT. SUBGRADES AND FORMS SHALL BE INSTALLED TO LINE AND GRADE, AND THE FORMS SHALL BE MORTAR TIGHT AND UNYIELDING AS THE CONCRETE IS PLACED.
- 7. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO INFILTRATION BASINS.
- 8. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION BASIN.
- 9. AFTER THE BASIN IS EXCAVATED TO FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG.

10. VEGETATION SHOULD BE ESTABLISHED IMMEDIATELY.

11. DO NOT PLACE SYSTEMS INTO SERVICE UNTIL CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

#### **MAINTENANCE:**

MAINTENANCE IS NECESSARY IF DETENTION/RETENTION BASINS ARE TO CONTINUE TO FUNCTION AS ORIGINALLY DESIGNED. A LOCAL GOVERNMENT. A DESIGNATED GROUP SUCH AS A HOMEOWNERS' ASSOCIATION OR SOME INDIVIDUAL MUST BE ASSIGNED RESPONSIBILITY FOR MAINTAINING THE STRUCTURES AND THE BASIN AREA. A MAINTENANCE PLAN SHOULD BE DEVELOPED THAT OUTLINES THE MAINTENANCE OPERATIONS AND A SCHEDULE FOR CARRYING OUT THE PROCEDURES.

- THE FOLLOWING ARE SOME ITEMS WHICH SHOULD BE CONSIDERED IN FORMULATING A MAINTENANCE PLAN. 1. EMBANKMENT - THE EMBANKMENT SHOULD BE INSPECTED ANNUALLY TO DETERMINE IF RODENT BURROWS, WET AREAS, OR EROSION OF THE FILL IS TAKING PLACE.
- 2. VEGETATION THE VEGETATED AREAS OF THE STRUCTURE SHOULD BE PROTECTED FROM DAMAGE BY FIRE, GRAZING, TRAFFIC, AND DENSE WEED GROWTH. LIME AND FERTILIZER SHOULD BE APPLIED AS NECESSARY AS DETERMINED BY SOIL TESTS. TREES AND SHRUBS SHOULD BE KEPT OFF THE EMBANKMENT AND EMERGENCY SPILLWAY AREAS.
- 3. INLETS PIPE INLETS AND SPILLWAY STRUCTURES SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. ACCUMULATED DEBRIS AND SEDIMENT SHOULD BE REMOVED. IF PIPES ARE COATED, THE COATING SHOULD BE CHECKED AND REPAIRED AS NECESSARY.
- 4. OUTLETS PIPE OUTLETS SHOULD BE INSPECTED ANNUALLY AND AFTER EVERY MAJOR STORM. THE CONDITION OF THE PIPES SHOULD BE NOTED AND REPAIRS MADE AS NECESSARY, IF EROSION IS TAKING PLACE THEN MEASURES SHOULD BE TAKEN TO STABILIZE AND PROTECT THE AFFECTED AREA
- 5. SEDIMENT SEDIMENT SHOULD BE CONTINUALLY CHECKED IN THE BASIN. WHEN SEDIMENT ACCUMULATIONS REACH THE PREDETERMINED DESIGN ELEVATION, THEN THE SEDIMENT SHOULD BE REMOVED AND PROPERLY DISPOSED OF.
- 6. SAFETY INSPECTIONS ALL PERMANENT IMPOUNDMENTS SHOULD BE INSPECTED BY A QUALIFIED PROFESSIONAL ENGINEER ON A PERIODIC BASIS. IF THERE IS A POTENTIAL FOR SIGNIFICANT DAMAGE OR LOSS OF LIFE DOWNSTREAM, THEN THE INSPECTION SHOULD BE CARRIED OUT ANNUALLY. THE DESIGNATED INDIVIDUAL OR GROUP SHOULD ALSO MAKE INSPECTIONS AFTER EVERY MAJOR STORM

#### **INFILTRATION BASIN NOTES:**

- 1. DO NOT DISCHARGE SEDIMENT-LADEN WATERS FROM CONSTRUCTION ACTIVITIES (RUNOFF, WATER FROM EXCAVATIONS) TO THE INFILTRATION
- 2. DO NOT TRAFFIC EXPOSED SOIL SURFACE WITH CONSTRUCTION EQUIPMENT. IF FEASIBLE, PERFORM EXCAVATIONS WITH EQUIPMENT POSITIONED OUTSIDE THE LIMITS OF THE INFILTRATION BASIN.
- 3. AFTER THE BASIN IS EXCAVATED TO THE FINAL DESIGN ELEVATION, THE FLOOR SHOULD BE DEEPLY TILLED WITH A ROTARY TILLER OR DISC HARROW TO RESTORE INFILTRATION RATES, FOLLOWED BY A PASS WITH A LEVELING DRAG. THE PROPOSED DESIGN INFILTRATION RATE SHALL BE 3 INCHES PER HOUR, WHICH SHALL BE VERIFIED IN
- 4. VEGETATION SHOULD BE ESTABLISHED IMMEDIATELY.
- 5. DO NOT PLACE INFILTRATION SYSTEMS INTO SERVICE UNTIL THE CONTRIBUTING AREAS HAVE BEEN FULLY STABILIZED.

APPROVED BY THE TOWN OF KINGSTON PLANNING BOARD ON:



The Dubay Group, Inc.

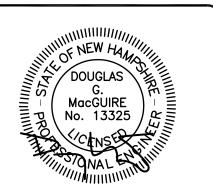
84 Range Road Windham, NH 03087 603-458-6462

Engineers

Planners

Surveyors

TheDubayGroup.com



	REVISIONS:				
REV:	DATE:	COMMENT:	BY:		
1	4/17/20	REVS PER TOWN COMMENTS	JMM		

DRAWN BY: CHECKED BY: DATE: FEBRUARY 13, 2020 SCALE: AS SHOWN 314-DETAILS FILE: DEED REF:

PROJECT:

**FIELDSTONE INDUSTRIAL PARK** 

> 34 ROUTE 125 KINGSTON, NH 03848

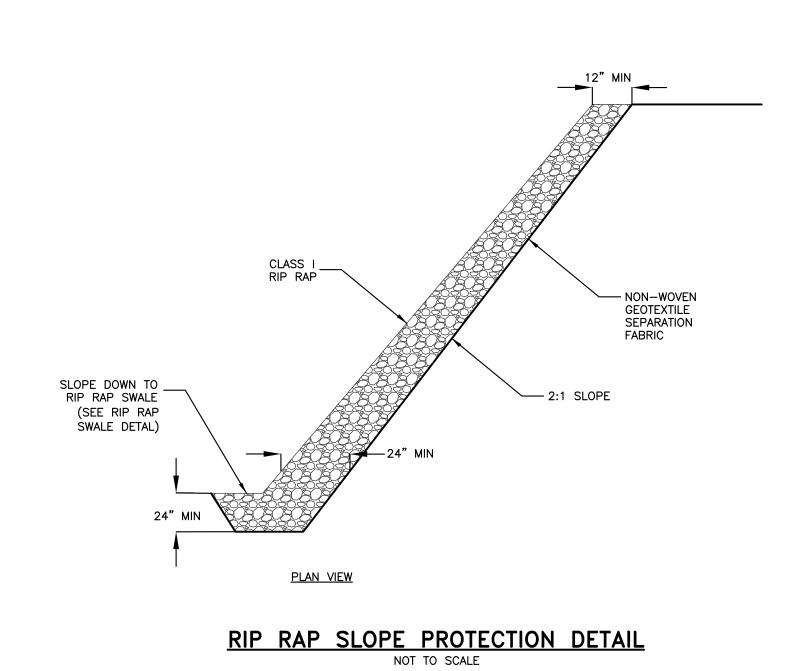
FIELDSTONE MEADOW

REALTY, LLC 19 QUIMBY COURT DANVILLE, NH 03819

SHEET TITLE:

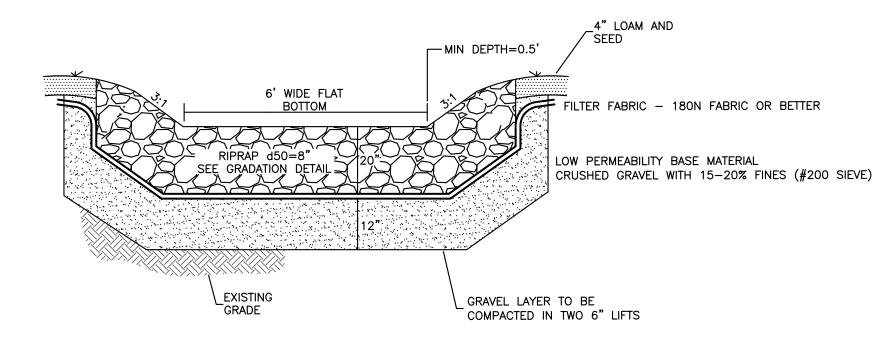
**DETAILS 4** 

PROJECT #314 SHEET 22 of 25



#### RIP RAP GRADATION DETAIL

% OF WEIGHT SMALLER THAN GIVEN SIZE	FOR d <sub>50</sub> = 6"	FOR d <sub>50</sub> = 8"
100	9" — 12"	12" - 16"
85	8" - 11"	10" - 14"
50	6" - 9"	8" - 12"
15	2" - 3"	2" - 4"



RIPRAP LINED OUTLET SWALE DETAIL

NOT TO SCALE



84 Range Road Windham, NH 03087 603-458-6462

Engineers

Surveyors

TheDubayGroup.com

Planners

DOUGLAS HAMBURGE No. 13325

MacGUIRE No. 13325

MORE NO. 13325

		199		
REVISIONS:				
DATE:	COMMENT:	BY:		
	DATE:			

DRAWN BY: SJK
CHECKED BY: DGM
DATE: APRIL 17, 2020
SCALE: AS SHOWN
FILE: 314—DETAILS
DEED REF: —

PROJECT:

FIELDSTONE INDUSTRIAL PARK

34 ROUTE 125 KINGSTON, NH 03848

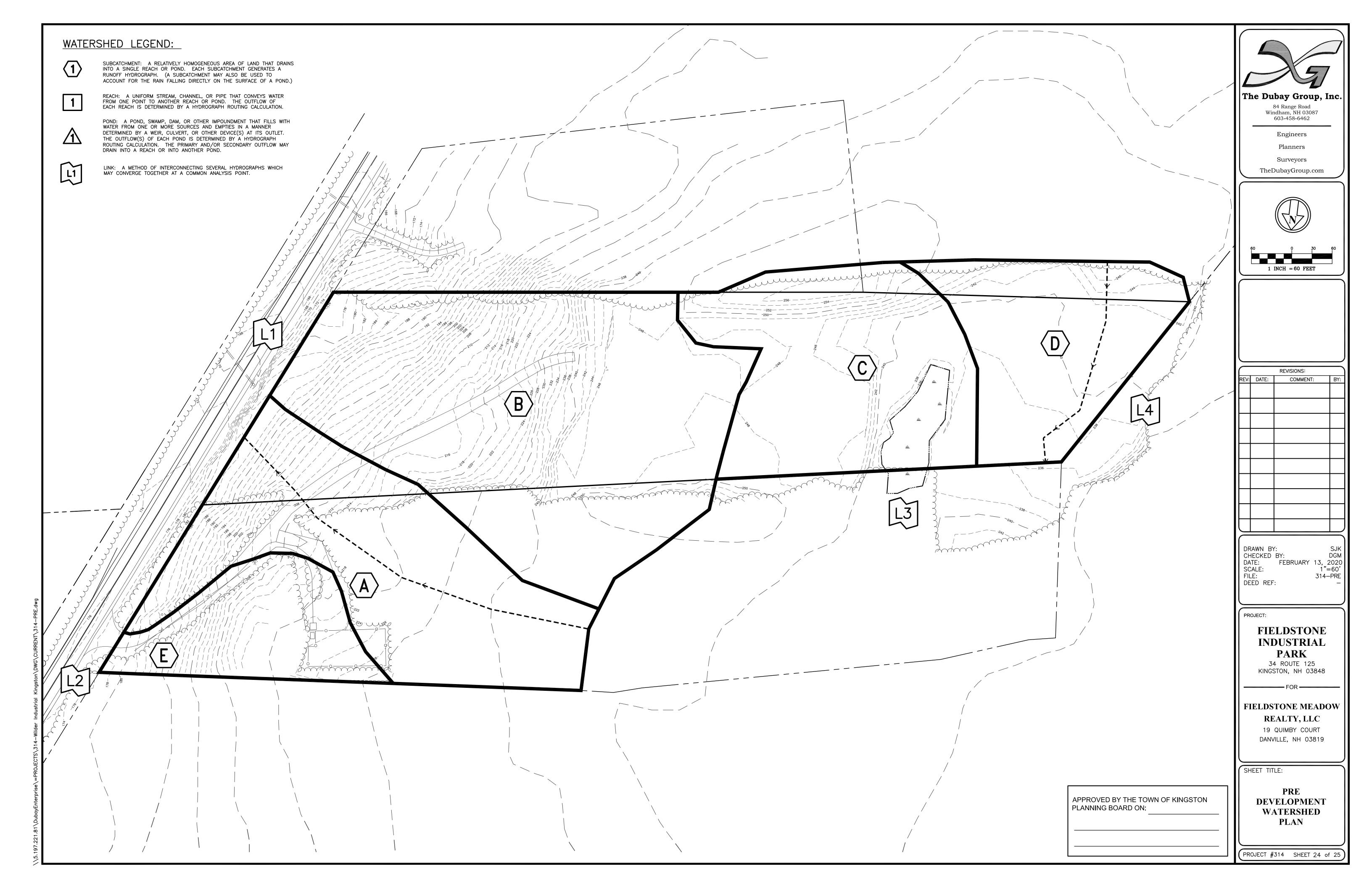
FIELDSTONE MEADOW REALTY, LLC

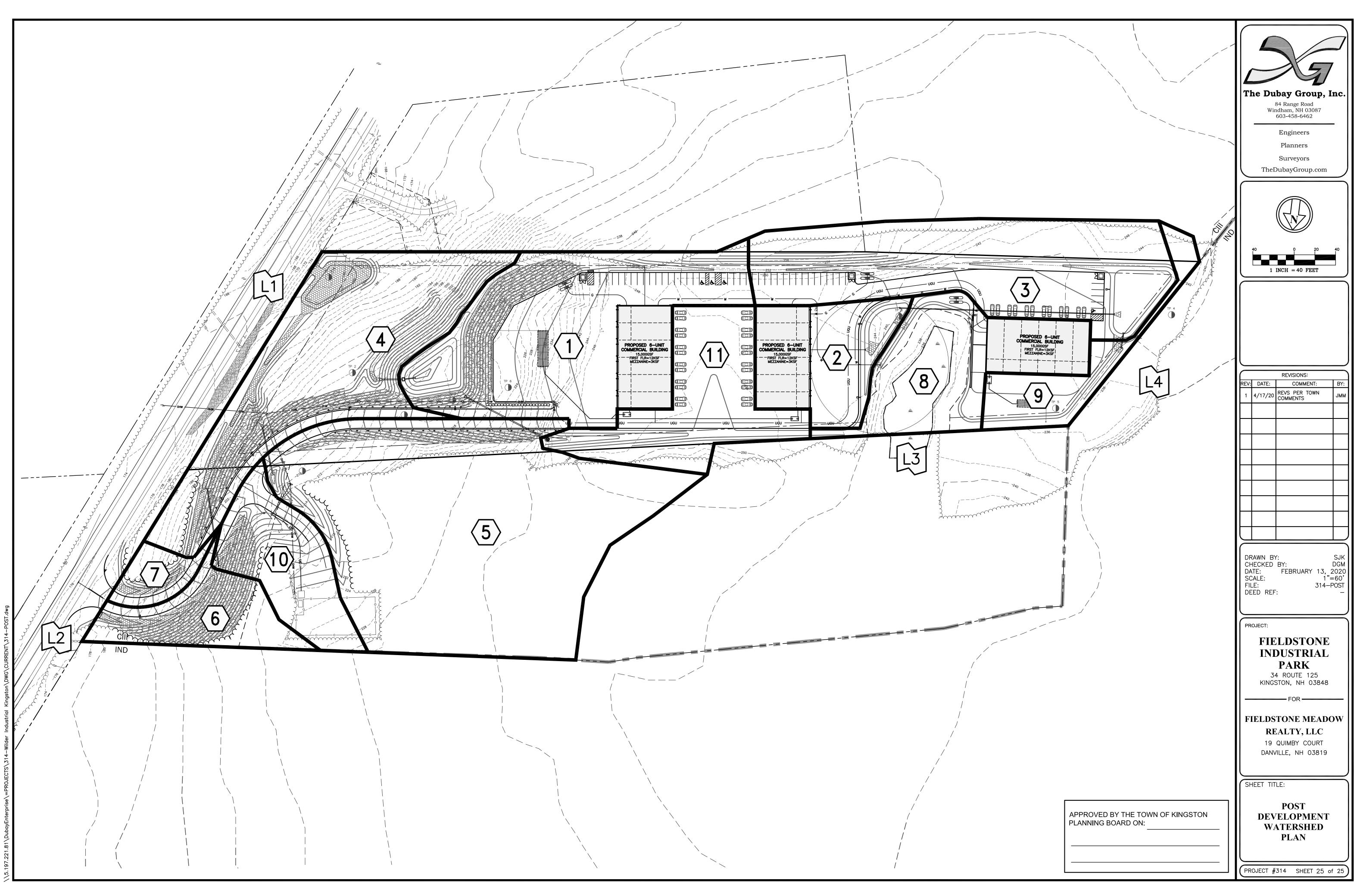
19 QUIMBY COURT DANVILLE, NH 03819

SHEET TITLE:

SITE DETAILS 5

PROJECT #314 SHEET 23 of 25





# FIELDSTONE INDUSTRIAL PARK 34 ROUTE 125 KINGSTON, NEW HAMPSHIRE

## Gleason Architects

P.O. BOX 596

STRATHAM, NH 03885

603 770-2882

CODE BEING USED:

INTERNATIONAL BUILDING CODE 2015 WITH NH AMENDMENTS
INTERNATIONAL RESIDENTIAL CODE 2015
INTERNATIONAL ENERGY CONSERVATION CODE 2015
INTERNATIONAL PLUMBING CODE 2015
NATIONAL ELECTRIC CODE 2017 WITH NH AMENDMENTS
NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) | 2013 AND NFPA | 101 2015

STATE FIRE CODE SAF-C 6000

INDEX TO DRAWINGS

ARCHITECTURAL

AI - FOUNDATION PLAN

A2 - FIRST FLOOR PLAN

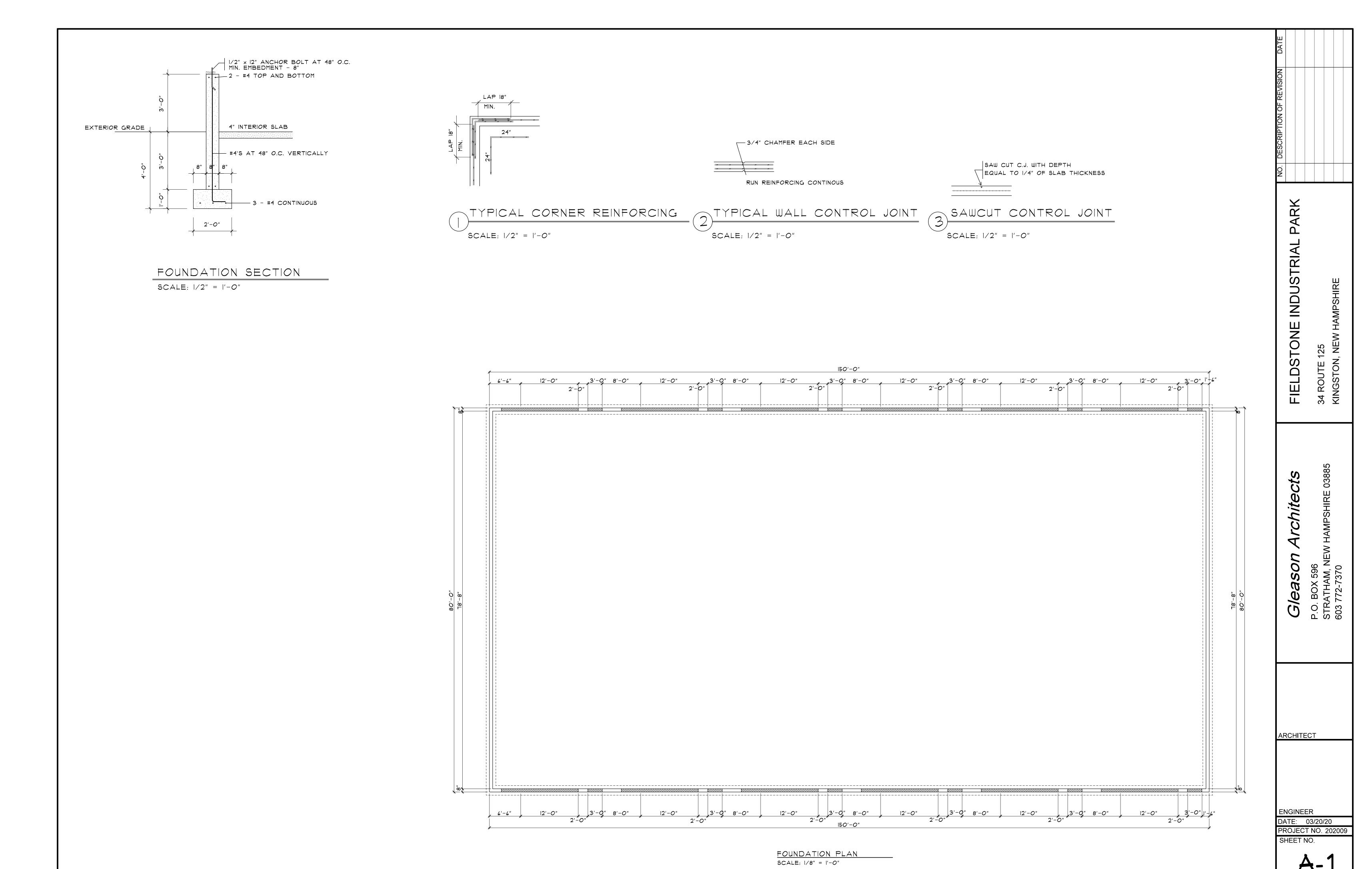
A3 - ELEVATIONS

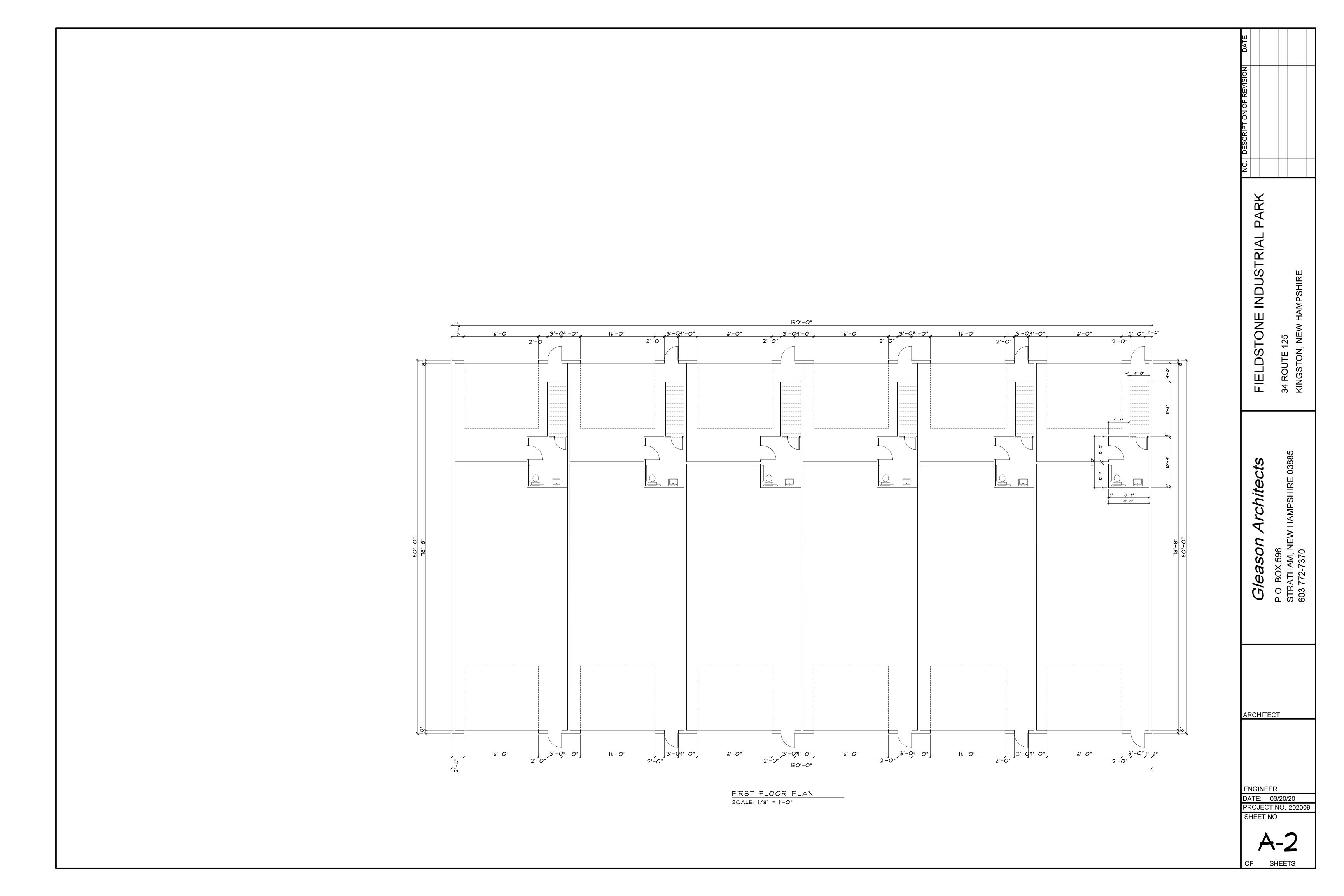
A4 - SECTION, FRAMING PLANS

#### GENERAL NOTES

- 1. All work must meet state, local and other applicable codes.
- 2. Contractor(s) must visit the job site prior to submitting a bid.
- 3. It is assumed the soil bearing capacity is 2000 psf or better.
- 4. Footings are to be placed on undisturbed soil, a minimum of one (1) foot below the frost line.
- 5. Provide 2" rigid insulation around the foundation perimeter to 4' below grade.
- 6. Concrete walls below the finished grade are to be damp proofed with tar or equal material.
- 7. All wood on concrete is to be pressure treated lumber with sill seal and insulation.
- 8. Poured in place concrete is to be 3000 psi or better.
- 9. Concrete slabs are to have 6/6 10x10 w.w.f., 6 mil poly vapor barrier over 6" of crush stone or gravel.
- 10. Use anchor bolts at 4'-0" on center on foundation walls.
- 11. Use bridging or solid blocking between floor joist.
- 12. Exterior walls are to be  $2 \times 6$  wood studs at 16" on center with lateral bracing, 1/2" gypsum board interior 1/2" sheating exterior and "building wrap". The walls will have full batt insulation or equal,
- 13. Interior walls are to be  $2 \times 4$  wood studs at 16" on center with 1/2" gypsum board each side.
- 14. Stairs: Treads, 11" (+/-); Risers, 7 1/2" (+/-) per local code.
- 15. All material used in the construction of this building will be new. No used or reconditioned material is permitted.
- 16. All interior finishes are to be determined by the contract with the owner.
- 17. Notify the architect immediately if conditions are different than indicated on the plans.
- 18. Any changes to these plans must be reviewed and approved by the owner(s) and the architect.
- 9. These drawings are prepared for the owner(s) to meet local and state codes. Any deficiencies must be noted and architect contacted to review those deficiencies.









FIELDSTONE INDUSTRIAL

ARCHITECT

ENGINEER

DATE: 03/20/20 PROJECT NO. 202009

