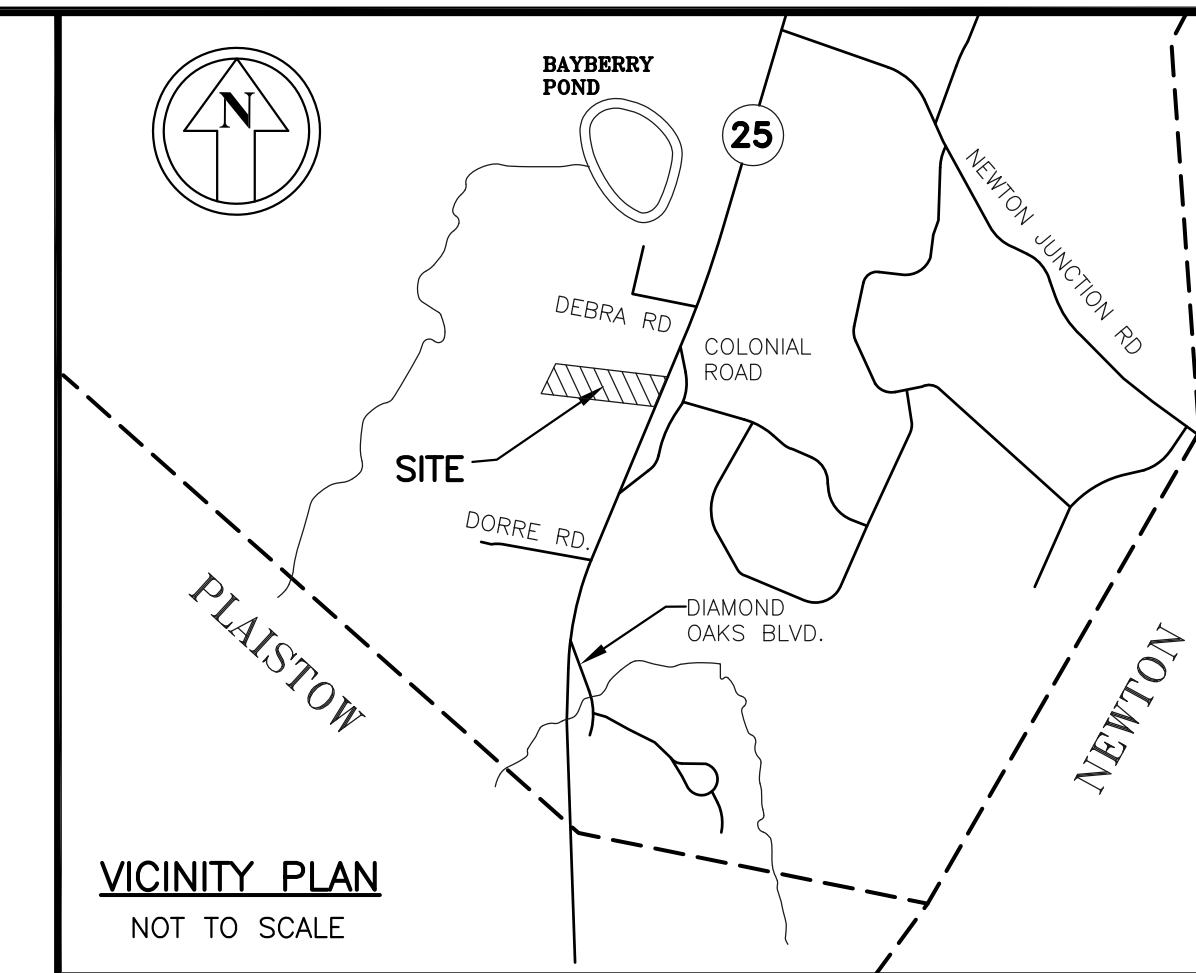


# FIELDSTONE INDUSTRIAL PARK

## KINGSTON, NEW HAMPSHIRE



**The Dubai Group, Inc.**

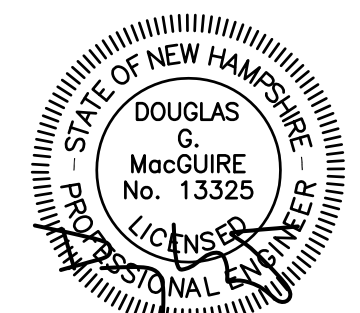
84 Range Road  
Windham, NH 03087  
603-458-6462

Engineers

## Planners

## Surveyors

TheDubayGroup.com



## SHEET INDEX

- |       |                                   |
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| 24    | PRE-DEVELOPMENT WATERSHED PLAN    |
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- A1-A4 BUILDING ELEVATIONS

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DRAWN BY: SJK  
CHECKED BY: DGM  
DATE: FEBRUARY 13, 2020  
SCALE:  
FILE: 314-COVER  
DEED REF: -

PROJECT:

## FIELDSTONE INDUSTRIAL PARK

34 ROUTE 125  
KINGSTON, NH 03848

— FOR —

## FIELDSTONE MEADOW

**REALTY, LLC**

19 QUIMBY COURT  
DANVILLE, NH 03819

SHEET TITLE:

# TITLE SHEET

<u>REQUIRED PERMITS:</u>		PERMIT #	DATE
1) TOWN OF KINGSTON SITE PLAN	_____	_____	
2) NHDES SEPTIC PERMIT	_____	_____	
3) NHDES ALTERATION OF TERRAIN	_____	_____	
4) NHDOT PERMIT	_____	_____	

APPROVED BY THE TOWN OF KINGSTON  
PLANNING BOARD ON:



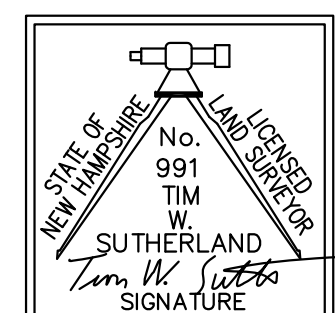
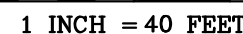


Engineers

## Planners

## Surveyors

TheDubayGroup.com

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CHECKED BY: TWS  
DATE: JULY 8, 2019  
SCALE: 1"=40'  
FILE: 314-ECP  
DEED REF: -  
BOOK 5631 PAGE 22901

PROJECT:

34 ROUTE 125  
KINGSTON, NH 03848

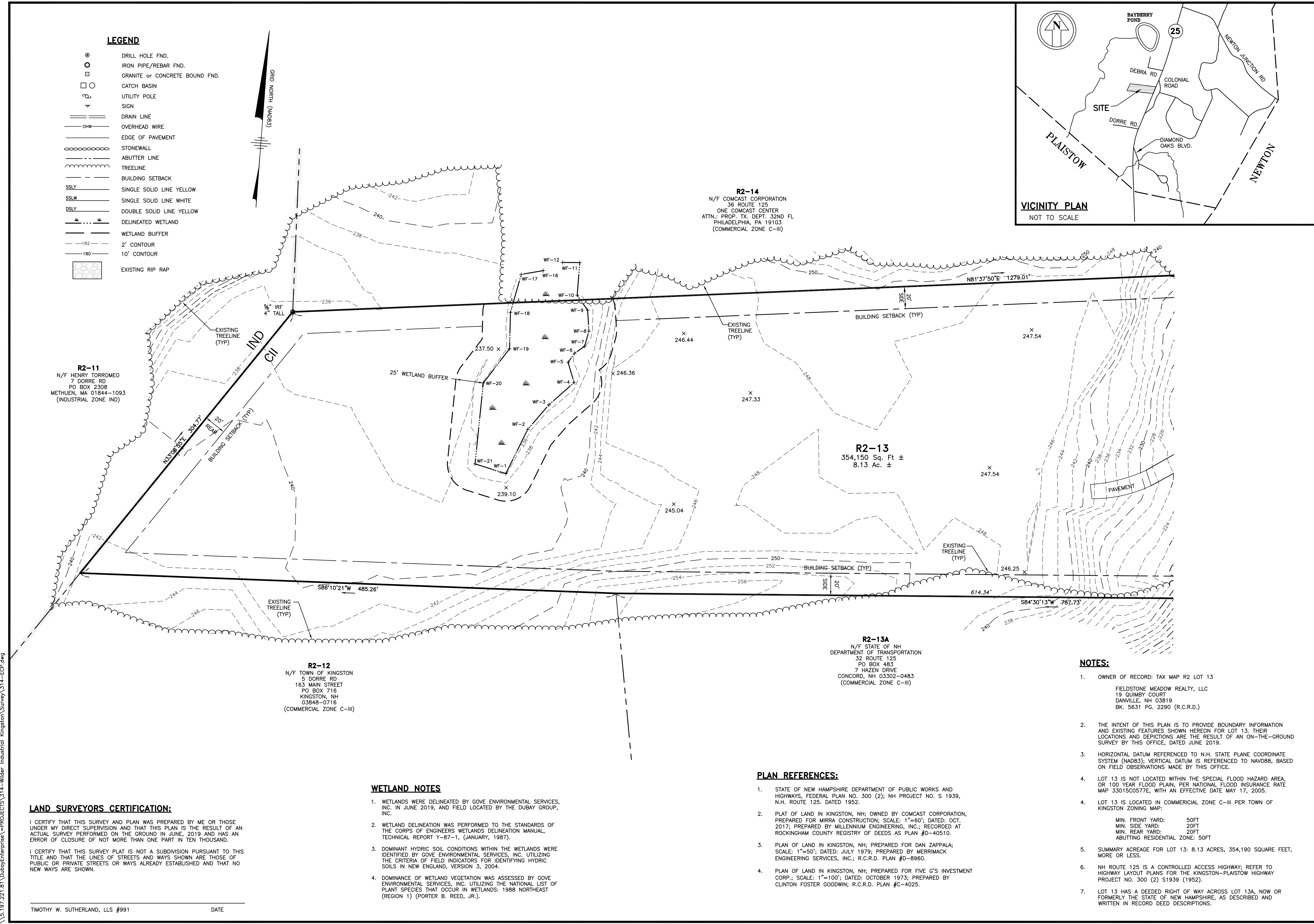
— FOR —

19 QUIMBY COURT  
DANVILLE, NH 03819

SHEET TITLE:

# EXISTING CONDITIONS PLAN

PROJECT #314 SHEET 2 of 25



**LAND SURVEYORS CERTIFICATION:**

I CERTIFY THAT THIS SURVEY AND PLAN WAS PREPARED BY ME OR THOSE UNDER MY DIRECT SUPERVISION AND THAT THIS PLAN IS THE RESULT OF AN ACTUAL SURVEY PERFORMED ON THE GROUND IN JUNE, 2019 AND HAS AN ERROR OF CLOSURE OF NOT MORE THAN ONE PART IN TEN THOUSAND.

I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

TIMOTHY W. SUTHERLAND, LLS #991

DATE \_\_\_\_\_

**WETLAND NOTES**

1. WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES, INC. IN JUNE 2019, AND FIELD LOCATED BY THE DUBAY GROUP, INC.
2. WETLAND DELINEATION WAS PERFORMED TO THE STANDARDS OF THE CORPS OF ENGINEERS WETLANDS DELINEATION MANUAL, TECHNICAL REPORT Y-87-1, (JANUARY, 1987).
3. DOMINANT HYDRIC SOIL CONDITIONS WITHIN THE WETLANDS WERE IDENTIFIED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE CRITERIA OF FIELD INDICATORS FOR IDENTIFYING HYDRIC SOILS IN NEW ENGLAND, VERSION 3, 2004.
4. DOMINANCE OF WETLAND VEGETATION WAS ASSESSED BY GOVE ENVIRONMENTAL SERVICES, INC. UTILIZING THE NATIONAL LIST OF PLANT SPECIES THAT OCCUR IN WETLANDS: 1988 NORTHEAST (REGION 1) (PORTER B. REED, JR.).

**PLAN REFERENCES:**

1. STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS, FEDERAL PLAN NO. 300 (2); NH PROJECT NO. S 1939, N.H. ROUTE 125. DATED 1952.
2. PLAT OF LAND IN KINGSTON, NH; OWNED BY COMCAST CORPORATION, PREPARED FOR MIRRA CONSTRUCTION; SCALE: 1"=60'; DATED: OCT. 20, 1984. PREPARED BY KENNETH ENGINEERS, INC.; RECORDED AT ROCKINGHAM COUNTY REGISTRY OF DEEDS AS PLAN #D-40510.
3. PLAN OF LAND IN KINGSTON, NH; PREPARED FOR DAZ ZAPALLA; SCALE: 1"=50'; DATED: JULY 1979; PREPARED BY MERRIMACK ENGINEERING SERVICES, INC.; R.C.R.D. PLAN #D-8960.
4. PLAN OF LAND IN KINGSTON, NH; PREPARED FOR FIVE C'S INVESTMENT CORP.; SCALE: 1"=100'; DATED: OCTOBER 1973; PREPARED BY CLINTON FOSTER GOODWIN; R.C.R.D. PLAN #C-4025.

**NOTES:**

1. OWNER OF RECORD: TAX MAP R2 LOT 13  
  
FIELDSTONE MEADOW REALTY, LLC  
19 QUMBY COURT  
DANVILLE, NH 03819  
BK. 5631 PG. 2290 (R.C.R.D.)
2. THE INTENT OF THIS PLAN IS TO PROVIDE BOUNDARY INFORMATION AND EXISTING FEATURES SHOWN HEREON FOR LOT 13. THEIR LOCATIONS AND DEPICTIONS ARE THE RESULT OF AN ON-THE-GROUND SURVEY BY THIS OFFICE, DATED JUNE 2019.
3. HORIZONTAL DATUM REFERENCED TO N.H. STATE PLANE COORDINATE SYSTEM (NAD83); VERTICAL DATUM IS REFERENCED TO NAVD88, BASED ON FIELD OBSERVATIONS MADE BY THIS OFFICE.
4. LOT 13 IS NOT LOCATED WITHIN THE SPECIAL FLOOD HAZARD AREA, OR 100 YEAR FLOOD PLAIN, PER NATIONAL FLOOD INSURANCE RATE MAP 33015C0577E, WITH AN EFFECTIVE DATE MAY 17, 2005.
4. LOT 13 IS LOCATED IN COMMERCIAL ZONE C-III PER TOWN OF KINGSTON ZONING MAP:  
  
MIN. FRONT YARD: 50FT  
MIN. SIDE YARD: 20FT  
MIN. REAR YARD: 20FT  
ABUTTING RESIDENTIAL ZONE: 50FT
5. SUMMARY ACREAGE FOR LOT 13: 8.13 ACRES, 354,190 SQUARE FEET, MORE OR LESS.
6. NH ROUTE 125 IS A CONTROLLED ACCESS HIGHWAY; REFER TO HIGHWAY LAYOUT PLANS FOR THE KINGSTON-PLAISTOW HIGHWAY PROJECT NO. 300 (2) S1939 (1952).
7. LOT 13 HAS A DEEDED RIGHT OF WAY ACROSS LOT 13A, NOW OR FORMERLY THE STATE OF NEW HAMPSHIRE, AS DESCRIBED AND WRITTEN IN RECORD DEED DESCRIPTIONS.



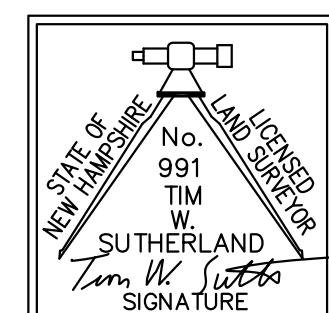
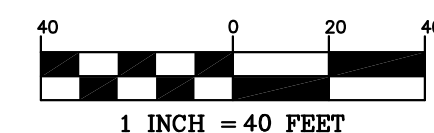


Engineers

## Planners

## Surveyors

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DATE: JULY 8, 2019  
SCALE: 1"=40'  
FILE: 314-ECP  
DEED REF: -  
BOOK 5631 PAGE 22901

PROJECT:

# FIELDSTONE INDUSTRIAL PARK

34 ROUTE 125  
KINGSTON, NH 03848

— FOR —

## FIELDSTONE MEADOW

**REALTY, LLC**

19 QUIMBY COURT  
DANVILLE, NH 03819

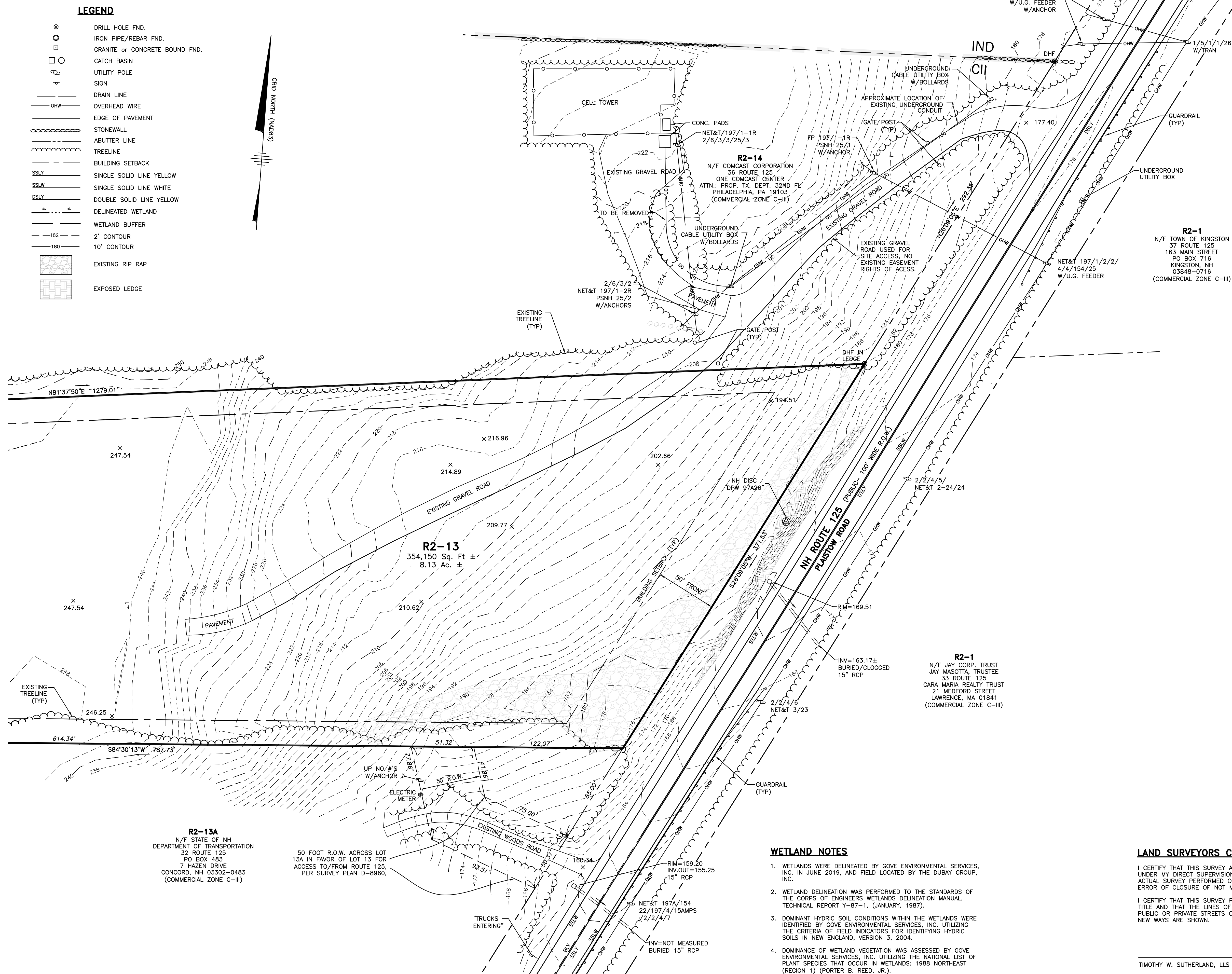
SHEET TITLE:

## EXISTING CONDITIONS PLAN

TIMOTHY W. SUTHERLAND, LLS #991

DATE \_\_\_\_\_

PROJECT #314 SHEET 3 of 25



WETLAND NOTES

1. WETLANDS WERE DELINEATED BY GOVE ENVIRONMENTAL SERVICES INC. IN JUNE 2019, AND FIELD LOCATED BY THE DUBAY GROUP, INC.
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**LAND SURVEYORS CERTIFICATION:**

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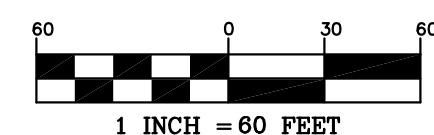
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Engineers  
Planners  
Surveyors

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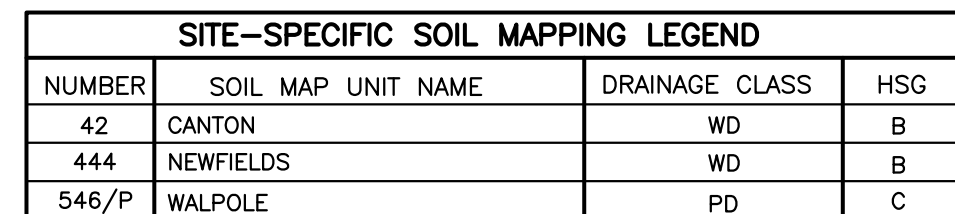
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CHECKED BY: DGM  
DATE: APRIL 17, 2020  
SCALE: 1"=60'  
FILE: 314-SOILS  
DEED REF: -

# FIELDSTONE INDUSTRIAL PARK

— FOR

SHEET TITLE:

PROJECT #314 SHEET 4 of 25



THIS SITE SPECIFIC SOIL MAP WAS DONE BY GOVE ENVIRONMENTAL SERVICES, INC. OF EXETER IN JUNE 2019. THIS MAP PRODUCT IS WITHIN THE TECHNICAL STANDARDS OF THE NATIONAL COOPERATIVE SOIL SURVEY. IT IS A SPECIAL PURPOSE PRODUCT, INTENDED FOR USE IN DESIGNING AND PERMITTING THE SITE THROUGH THE TOWN OF KINGSTON AND THE NHDES ALTERATION OF TERRAIN BUREAU. IT WAS PRODUCED BY A PROFESSIONAL SOIL SCIENTIST, AND IS NOT A PRODUCT OF THE USDA NATURAL RESOURCES CONSERVATION SERVICE. THERE IS A REPORT THAT ACCOMPANIES THIS MAP.



WETLAND NOTES

1. US ARMY CORPS OF ENGINEERS REGIONAL SUPPLEMENT TO THE CORPS OF ENGINEERS WETLAND DELINEATION MANUAL: NORTHEASTAL AND NORTHEAST REGION TECHNICAL REPORT EROD-C-TR-9-1, JANUARY 2012, VERSION 2.0.
2. FIELD INDICATORS OF HYDRIC SOILS IN THE UNITED STATES, A GUIDE FOR IDENTIFYING AND DELINEATING HYDRIC SOILS, VERSION 7.0.
3. UNITED STATES DEPARTMENT OF AGRICULTURE (2010). NORTH AMERICAN DIGITAL FLORA: NATIONAL WETLAND PLANT LIST, CURRENT VERSION.



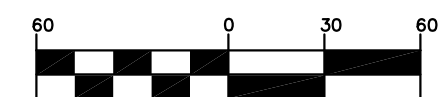


Engineers

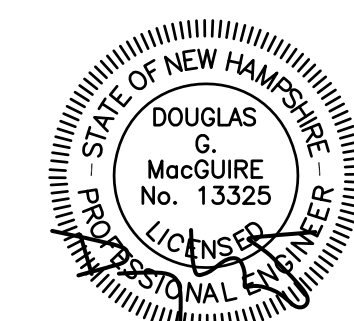
## Planners

## Surveyors

TheDubayGroup.com



1 INCH = 60 FEET

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CHECKED BY: DGM  
DATE: FEBRUARY 13, 2020  
SCALE: 1"=60'  
FILE: 314-OVERVIEW  
DEED REF: -

PROJECT:

**FIELDSTONE  
INDUSTRIAL  
PARK**

34 ROUTE 125  
KINGSTON, NH 03848

— FOR

**FIELDSTONE MEADOW  
REALTY, LLC**

19 QUIMBY COURT  
DANVILLE, NH 03819

SHEET TITLE:

## OVERVIEW PLAN

APPROVED BY THE TOWN OF KINGSTON  
PLANNING BOARD ON:



OWNER OF RECORD:  
FIELDSTONE MEADOW REALTY, LLC  
19 QUIMBY COURT  
DANVILLE, NH 03819  
BK. 5631 PG. 2290 (R.C.R.D.)

- FRONT SETBACK = 50' - (PROVIDED)  
SIDE SETBACK = 20' - (PROVIDED)  
REAR SETBACK = 20' - (PROVIDED)  
RESIDENTIAL SETBACK = 50' (PROVIDED)  
ROUTE 125 SETBACK = 100' CENTERLINE (PROVIDED)

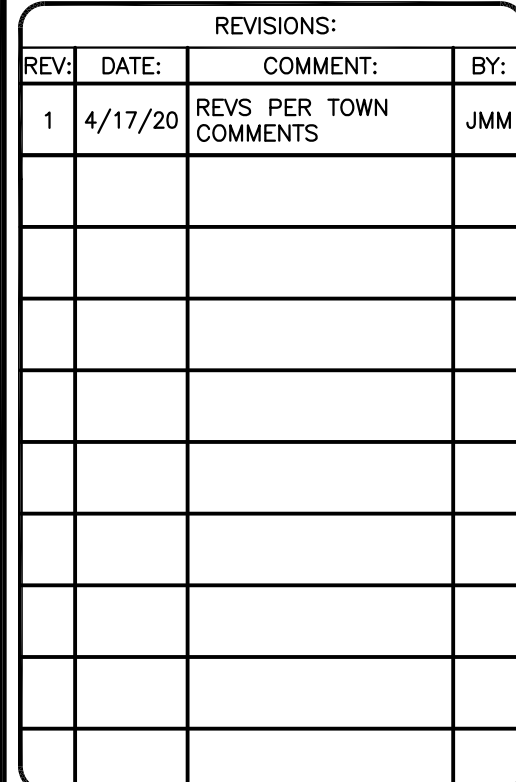
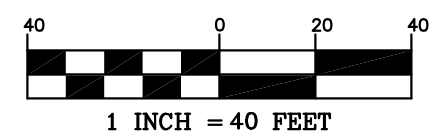
- DISPOSAL SITE. SEE SNOW STORAGE AREAS ON THIS PLAN.
9. THIS PLAN SET CONTAINS A TOTAL OF 25 SHEETS. THE FULL SET OF PROJECT PLANS IS ON FILE AT THE KINGSTON PLANNING DEPT.
10. ALL CATCH BASINS & DRAINAGE SYSTEMS SHALL BE CLEANED OF DEBRIS TWICE PER YEAR & INSPECTED TO MAKE SURE THEY ARE OPERATING AS DESIGNED. THE TIME OF REMOVAL OF DEBRIS SHOULD BE IN THE SPRING AND FALL SEASONS.
11. SEE ARCHITECTURAL PLANS FOR DETAILS AND OTHER FEATURES AT THE BUILDINGS. CONTRACTOR TO PERFORM THIS WORK AS DIRECTED BY THE OWNER.
12. THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. THE DUBAY GROUP, INC. MAKES NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT NEW HAMPSHIRE DIG-SAFE TO CONFIRM UTILITY LOCATIONS.
13. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE TOWN OF KINGSTON'S CONSTRUCTION STANDARDS AND DETAILS, LATEST EDITION.
14. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR CONDITIONS AT THE SITE. THESE PLANS DO NOT EXTEND TO OR INCLUDE SYSTEMS PERTAINING TO THE SAFETY OF THE CONSTRUCTION CONTRACTOR OR THEIR EMPLOYEES, AGENTS OR REPRESENTATIVES IN THE PERFORMANCE OF THE WORK. THE SEAL OF THE SURVEYOR OR ENGINEER HEREON DOES NOT EXTEND TO ANY SUCH SAFETY SYSTEMS THAT MAY NOW OR HEREAFTER BE INCORPORATED INTO THESE PLANS. THE CONSTRUCTION CONTRACTOR SHALL PREPARE OR OBTAIN THE APPROPRIATE SAFETY SYSTEMS WHICH ARE REQUIRED BY THE U.S. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) AND/OR LOCAL REGULATIONS.
15. A PERFORMANCE GUARANTEE IS REQUIRED AND MUST BE IN PLACE PRIOR TO CONSTRUCTION ON THE SITE.
16. THE HOURS OF OPERATION SHALL BE 6:00 AM - 6:00 PM.
17. NO KNOWN WELLS OR SEPTIC SYSTEMS WITHIN 200 FEET OF THE PARCEL.

- TOWN OF KINGSTON SITE PLAN: \_\_\_\_\_  
NHDES SEPTIC PERMIT: \_\_\_\_\_  
NHDES ALTERATION OF TERRAIN PERMIT: \_\_\_\_\_  
NHDOT DRIVEWAY PERMIT: \_\_\_\_\_

HEET 7

84 Range Road  
Windham, NH 03087  
603-458-6462

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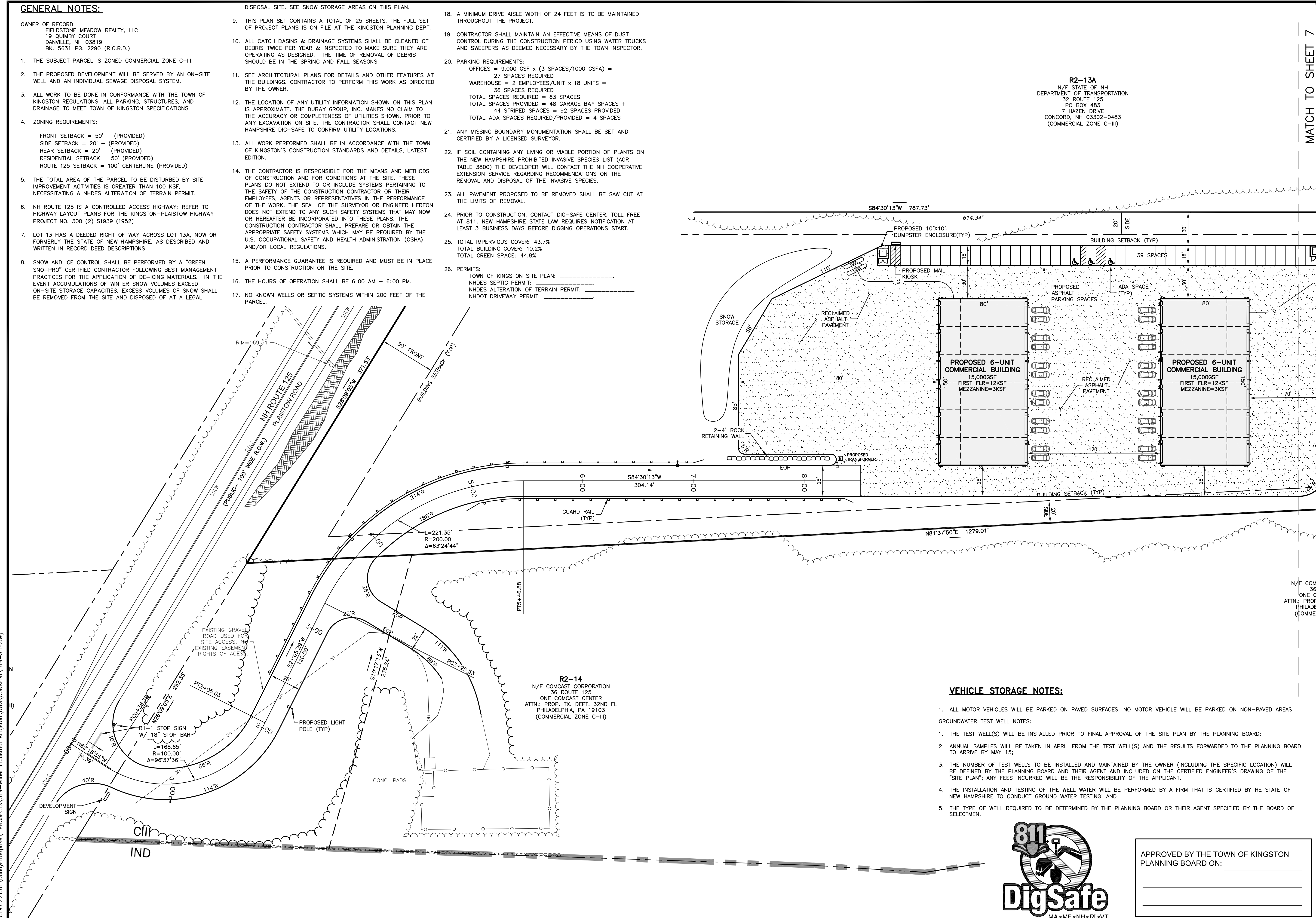
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**FIELDSTONE  
INDUSTRIAL  
PARK**

- FOR -

DANVILLE, NH 03819

PROJECT #314 SHEET 6 of 25



1. ALL MOTOR VEHICLES WILL BE PARKED ON PAVED SURFACES. NO MOTOR VEHICLE WILL BE PARKED ON NON-PAVED AREAS.
- GROUNDWATER TEST WELL NOTES:
  1. THE TEST WELL(S) WILL BE INSTALLED PRIOR TO FINAL APPROVAL OF THE SITE PLAN BY THE PLANNING BOARD;
  2. ANNUAL SAMPLES WILL BE TAKEN IN APRIL FROM THE TEST WELL(S) AND THE RESULTS FORWARDED TO THE PLANNING BOARD TO ARRIVE BY MAY 15;
  3. THE NUMBER OF TEST WELLS TO BE INSTALLED AND MAINTAINED BY THE OWNER (INCLUDING THE SPECIFIC LOCATION) WILL BE DEFINED BY THE PLANNING BOARD AND THEIR AGENT AND INCLUDED ON THE CERTIFIED ENGINEER'S DRAWING OF THE "SITE PLAN"; ANY FEES INCURRED WILL BE THE RESPONSIBILITY OF THE APPLICANT.
  4. THE INSTALLATION AND TESTING OF THE WELL WATER WILL BE PERFORMED BY A FIRM THAT IS CERTIFIED BY THE STATE OF NEW HAMPSHIRE TO CONDUCT GROUND WATER TESTING' AND
  5. THE TYPE OF WELL REQUIRED TO BE DETERMINED BY THE PLANNING BOARD OR THEIR AGENT SPECIFIED BY THE BOARD OF SELECTMEN.

APPROVED BY THE TOWN OF KINGSTON  
PLANNING BOARD ON:





1. ALL MOTOR VEHICLES WILL BE PARKED ON PAVED SURFACES. NO MOTOR VEHICLE WILL BE PARKED ON NON--PAVED AREAS

GROUNDWATER TEST WELL NOTES:

1. THE TEST WELL(S) WILL BE INSTALLED PRIOR TO FINAL APPROVAL OF THE SITE PLAN BY THE PLANNING BOARD;
2. ANNUAL SAMPLES WILL BE TAKEN IN APRIL FROM THE TEST WELL(S) AND THE RESULTS FORWARDED TO THE PLANNING BOARD TO ARRIVE BY MAY 15;
3. THE NUMBER OF TEST WELLS TO BE INSTALLED AND MAINTAINED BY THE OWNER (INCLUDING THE SPECIFIC LOCATION) WILL BE DEFINED BY THE PLANNING BOARD AND THEIR AGENT AND INCLUDED ON THE CERTIFIED ENGINEER'S DRAWING OF THE "SITE PLAN"; ANY FEES INCURRED WILL BE THE RESPONSIBILITY OF THE APPLICANT.
4. THE INSTALLATION AND TESTING OF THE WELL WATER WILL BE PERFORMED BY A FIRM THAT IS CERTIFIED BY THE STATE OF NEW HAMPSHIRE TO CONDUCT GROUND WATER TESTING' AND
5. THE TYPE OF WELL REQUIRED TO BE DETERMINED BY THE PLANNING BOARD OR THEIR AGENT SPECIFIED BY THE BOARD OR SELECTMEN.

MATCH TO SHEET 6

**R2-11**  
N/F HENRY TORRAMEO  
7 DORRE RD  
PO BOX 2308  
METHUEN, MA 01844-1093  
(INDUSTRIAL ZONE IND)



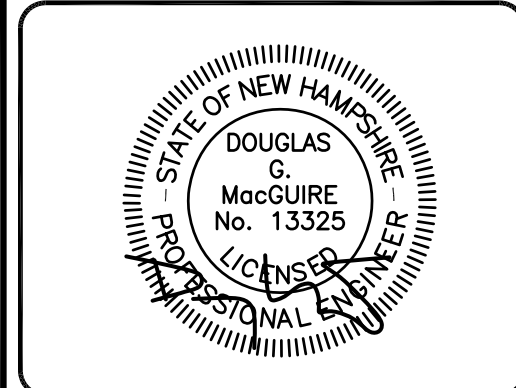
**The Dubai Group, Inc.**

84 Range Road  
 Windham, NH 03087  
 603-458-6462

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Engineers  
 Planners  
 Surveyors

TheDubayGroup.com

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CHECKED BY: DGM  
DATE: FEBRUARY 13, 2020  
SCALE: 1"=40'  
FILE: 314-SITE  
DEED REF: -

PROJECT:

**FIELDSTONE  
INDUSTRIAL  
PARK**

34 ROUTE 125  
KINGSTON, NH 03848

\_\_\_\_\_FOR\_\_\_\_\_

**FIELDSTONE MEADOW  
REALTY, LLC**

19 QUIMBY COURT  
DANVILLE, NH 03819

SHEET TITLE:

**SITE LAYOUT  
PLAN**

PROJECT #314 SHEET 7 of 25







**R2-13A**  
N/F STATE OF NH  
DEPARTMENT OF TRANSPORTATION  
32 ROUTE 125  
PO BOX 483  
7 HAZEN DRIVE  
CONCORD, NH 03302-0483  
(COMMERCIAL ZONE C-III)

**R2-12**  
N/F TOWN OF KINGSTON  
5 DORRE RD  
163 MAIN STREET  
PO BOX 716  
KINGSTON, NH  
03848-0716  
(COMMERCIAL ZONE C-III)

MATCH TO SHEET 8

**R2-14**  
N/F COMCAST CORPORATION  
36 ROUTE 125  
ONE COMCAST CENTER  
ATTN.: PROP. TX. DEPT. 32ND FL  
PHILADELPHIA, PA 19103  
(COMMERCIAL ZONE C-III)

**R2-11**  
N/F HENRY TORRAMEO  
7 DORRE RD  
PO BOX 2308  
METHUEN, MA 01844-1093  
(INDUSTRIAL ZONE IND)

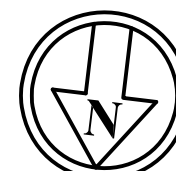
84 Range Road  
Windham, NH 03087  
603-458-6462

## Engineers

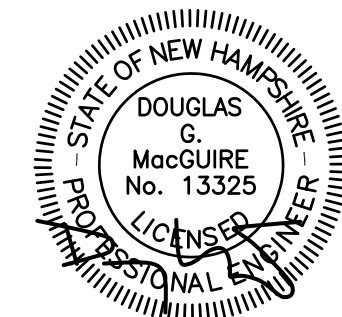
## Planners

## Survivors

TheDubayGroup.com



1 INCH = 40 FEET

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CHECKED BY: DGM  
DATE: FEBRUARY 13, 2020  
SCALE: 1"=40'  
FILE: 314-GU  
DEED REF: —

PROJECT:

# FIELDSTONE INDUSTRIAL PARK

34 ROUTE 125  
KINGSTON, NH 03848

— FO

**FIELDSTONE MEADOW  
REALTY, LLC**

19 QUIMBY COURT  
DANVILLE, NH 03819

SHEET TITLE:

## GRADING, DRAINAGE, & UTILITY PLAN

PROJECT #314 SHEET 9 of 25

- ## NOTES

1. ALL WORK SHALL CONFORM TO THE APPLICABLE REGULATIONS AND STANDARDS OF THE TOWN OF KINGSTON, AND SHALL BE BUILT IN A WORKMANLIKE MANNER IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE THEIRSELF WITH THE SITE AND ALL EXISTING CONDITIONS SURROUNDING IT AND THEREON.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING AND DETERMINING THE LOCATION, SIZE AND ELEVATION OF ALL EXISTING UTILITIES, SHOWN OR NOT SHOWN ON THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER AND THE TOWN OF KINGSTON SHALL BE NOTIFIED IN WRITING OF ANY UTILITIES FOUND INTERFERING WITH THE PROPOSED CONSTRUCTION AND APPROPRIATE REMEDIAL ACTION BE AGREED TO BY THE ENGINEER AND THE TOWN OF KINGSTON BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT "DIGSAFE" (811) AT LEAST 72 HOURS BEFORE DIGGING.
4. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES OWNING UTILITIES, EITHER OVERHEAD OR UNDERGROUND, WITHIN THE CONSTRUCTION AREA AND SHALL COORDINATE AS NECESSARY WITH THE UTILITY COMPANIES OF SAID UTILITIES. THE PROTECTION OR RELOCATION OF UTILITIES IS ULTIMATELY THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL MANHOLES IN PAVEMENT SHALL HAVE RIMS SET TO FINISH GRADE REGARDLESS OF ANY ELEVATIONS OTHERWISE SHOWN.
6. SANITARY SEWER SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. ALL SEWER MAINS AND FITTINGS SHALL BE PVC AND SHALL CONFORM TO ASTM F 679 (SDR 35 MINIMUM).
7. ON-SITE WATER DISTRIBUTION SHALL BE CONSTRUCTED TO THE STANDARDS AND SPECIFICATIONS AS SHOWN ON THESE PLANS. WATER MAINS SHALL HAVE A MINIMUM OF 5.5 FEET COVER. WHERE WATER PIPES CROSS SEWER LINES A MINIMUM OF 18" VERTICAL SEPARATION BETWEEN THE TWO OUTSIDE PIPE WALLS SHALL BE OBSERVED. HORIZONTAL SEPARATION BETWEEN WATER AND SEWER SHALL BE 10 FEET MINIMUM.
8. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CONDUIT AND WIRING TO ALL SIGNS AND LIGHTS. CONDUIT TO BE A MINIMUM OF 24" BELOW FINISH GRADE.
9. VERIFY UTILITY CONNECTIONS TO BUILDING WITH ARCHITECTURAL DRAWINGS.
10. COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR THE WATER SERVICE PIPE SIZE AND TYPE.
11. ALL EXCAVATIONS SHALL BE THOROUGHLY SECURED ON A DAILY BASIS BY THE CONTRACTOR AT THE COMPLETION OF CONSTRUCTION OPERATIONS IN THE IMMEDIATE AREA.
12. LIMITS OF WORK ARE SHOWN AS APPROXIMATE. THE CONTRACTOR SHALL COORDINATE ALL WORK TO PROVIDE SMOOTH TRANSITIONS. THIS INCLUDES GRADING, PAVEMENT, AND ALIGNMENTS.
13. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION AND FOR THE CONDITIONS AT THE SITE. WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND REPORT DISCREPANCIES TO THE ENGINEER AND THE TOWN OF KINGSTON.
14. THE LOT LINES WILL BE CLEARLY STAKED OUT TO PREVENT ENCROACHMENT ON ADJUTING PROPERTIES DURING THE PROPOSED CONSTRUCTION WORK.

APPROVED BY THE TOWN OF KINGSTON  
PLANNING BOARD ON:

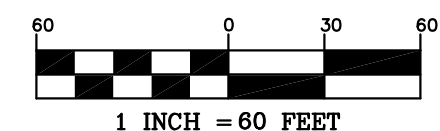






Engineers  
Planners  
Surveyors

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DRAWN BY: REK  
CHECKED BY: DGM  
DATE: FEBRUARY 13, 2020  
SCALE: 1"=60'  
FILE: 314-LANDSCAPE  
DEED REF: -

PROJECT:

**FIELDSTONE  
INDUSTRIAL  
PARK**

34 ROUTE 125  
KINGSTON, NH 03848

- FOR -

**FIELDSTONE MEADOW**

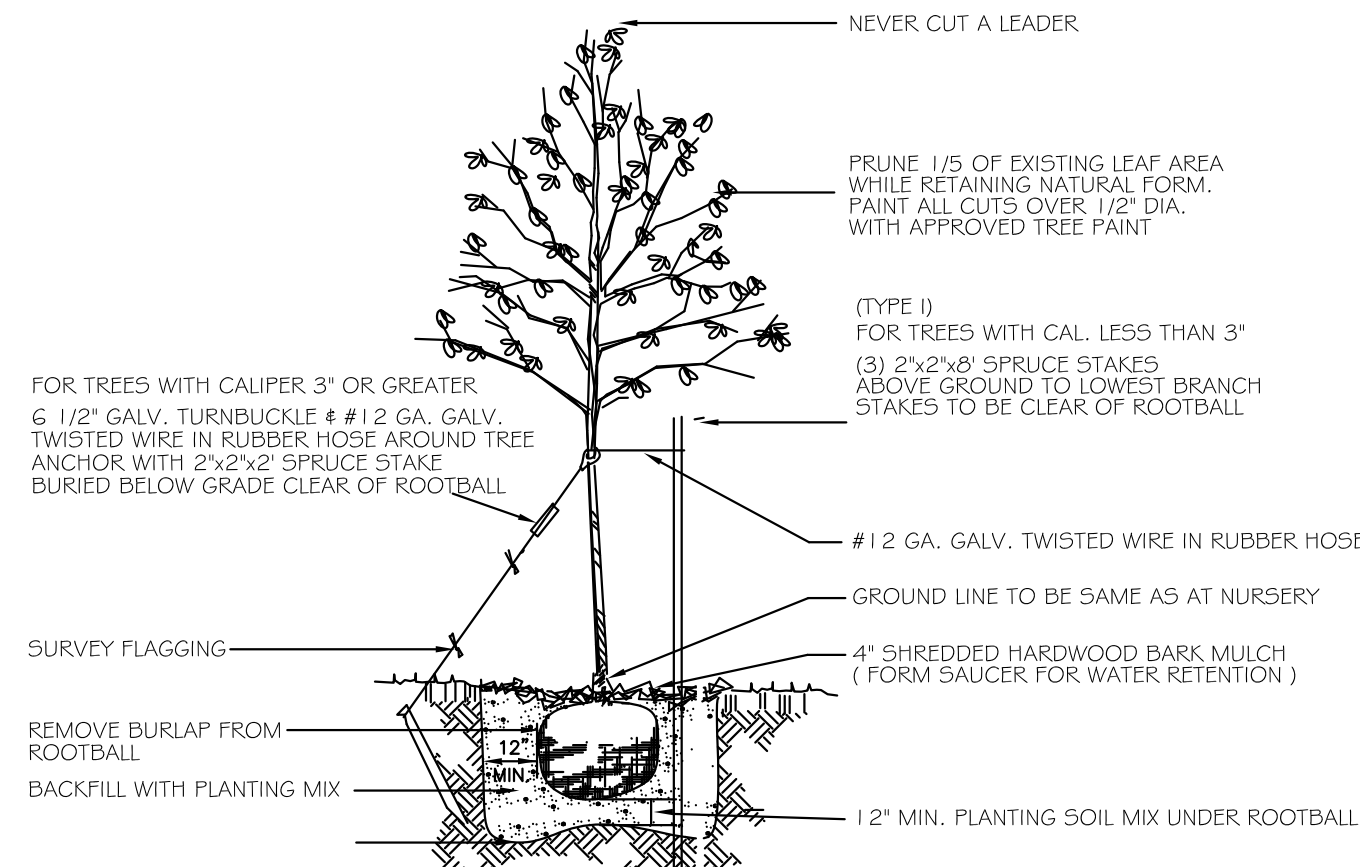
**REALTY, LLC**

19 QUIMBY COURT  
DANVILLE, NH 03819

SHEET TITLE:

## LANDSCAPE PLAN

PROJECT #314 SHEET 10 of 25



## DECIDUOUS TREE PLANTING DETAIL

## LANDSCAPE NOTES:

1. PRIOR TO CONSTRUCTION THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL EXISTING AND NEWLY INSTALLED UTILITIES AND SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY CONFLICTS.
2. WHEREVER POSSIBLE EXISTING TREES SHALL BE PRESERVED AND PROTECTED DURING CONSTRUCTION. DISTURBED SIDE SLOPES SHALL BE ALLOWED TO NATURALLY VEGETATE TO SUSTAIN EXISTING WILDLIFE AND PLANT LIFE.
3. THE PROPOSED DECIDUOUS TREES SHALL BE A MIN. 2" CALIPER MEASURED AT 12" ABOVE THE GROUND
4. ALL DISTURBED AREAS SHALL BE LOAMED AND SEEDED. SLOPES GREATER THAN 3:1 SHALL BE PROTECTED WITH AN EROSION CONTROL BLANKET.
5. PLANTS SHALL NOT BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED WITHIN THE IMMEDIATE AREA OF THE PLANTING.
6. ALL TREES SHALL BE BALLED AND BURLAP UNLESS OTHERWISE NOTED.
7. ANY PROPOSED PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT.
8. WHERE APPLICABLE THE CONTRACTOR SHALL HAVE ALL FALL TRANSPLANTING HAZARD PLANTS DUG IN THE SPRING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
9. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
10. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
11. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.

2. INSOFAR AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
3. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI 260 (REV. 1996) "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
4. ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS. LARGE PLANTING AREAS TO INCORPORATE FERTILIZER AND SOIL CONDITIONERS AS STATED IN PLANTING SPECIFICATIONS.
5. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
6. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. ALL PLANT MATERIAL SHALL BE SPRAYED WITH "WILT-PRUF" OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
7. NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS.
8. SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
9. ALL PLANTING BEDS SHALL BE MULCHED WITH 4" LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH.
20. NO SOIL CONTAINING ANY LIVING OR VIABLE PORTION OF PLANTS ON THE NEW HAMPSHIRE PROHIBITED INVASIVE SPECIES LIST (AGR TABLE 3800) SHALL BE TRANSPORTED TO OR FROM CONSTRUCTION SITES WITHOUT NOTIFICATION AND APPROVAL FROM THE NEW HAMPSHIRE DEPT. OF AGRICULTURE PER RSA 430:55.

## LANDSCAPE REQUIREMENTS:

## MITIGATING THE IMPACTS OF PARKING LOTS:

5% ON PARKING LOTS WHICH ARE LOCATED AT THE REAR OF THE PRINCIPAL BUILDING AND LARGELY OBSCURED FROM THE ROAD.

ALL LANDSCAPED AREAS REQUIRED BY THE ARTICLE SHALL CONTAIN NO LESS THAN ONE LIVE SHADE TREE OR ORNAMENTAL TREE. SUCH TREES SHALL HAVE A MINIMUM TRUNK DIAMETER (MEASURE TWELVE (12) INCHES ABOVE THE GROUND LEVEL) OF NOT LESS THAN TWO (2) INCHES.

ALL LANDSCAPED AREA SHALL CONTAIN SHRUB AND GROUND COVER PLANTINGS AND SHALL NOT BE PAVED EXCEPT FOR WALKWAYS NECESSARY FOR PEDESTRIAN SAFETY.

INTERNAL PARKING LOT LANDSCAPING, ONE DECIDUOUS SHADE TREE FOR EVERY 15 (FIFTEEN) PARKING SPACES.  
45 SPACES REQUIRED = 3 TREES REQUIRED - 3 TREES SHOWN

SHADE TREES SHALL BE PROVIDED AROUND THE PERIMETER OF ALL PARKING AREAS AT A MINIMUM RATIO OF 1 (ONE) TREE PER 20 FEET OF PARKING LOT PERIMETER. 445 LF PARKING / 20 = 22.25 OR 23 TREES REQUIRED - 23 TREES SHOWN

THE LOCATION OF ANY UTILITY INFORMATION SHOWN ON THIS PLAN IS APPROXIMATE. WE MAKE NO CLAIM TO THE ACCURACY OR COMPLETENESS OF UTILITIES SHOWN. 72 HOURS PRIOR TO ANY EXCAVATION ON SITE, THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 1-888-DIG-SAFE.



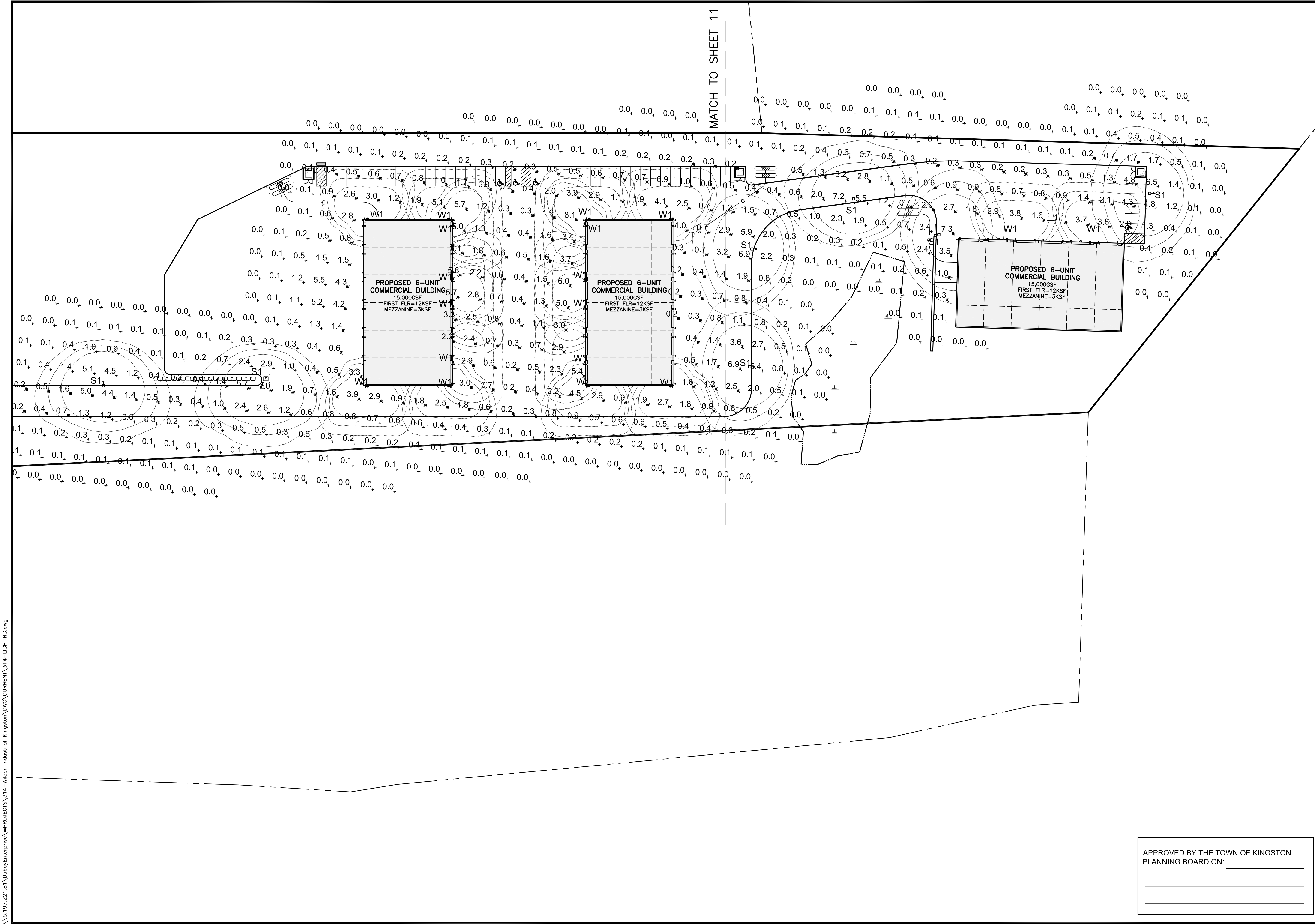
APPROVED BY THE TOWN OF KINGSTON  
PLANNING BOARD ON:







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**The Dubay Group, Inc.**

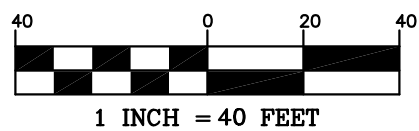
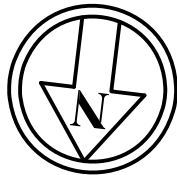
84 Range Road  
Windham, NH 03087  
603-458-6462

Engineers

Planners

Surveyors

TheDubayGroup.com



**PHILIP J. INFURNA**  
**LIGHTING CONSULTANT**  
CELL: 774-212-7981  
EMAIL: pinfurna@gmail.com

REVISIONS:			
REV.	DATE:	COMMENT:	BY:

DRAWN BY: SJK  
CHECKED BY: DGM  
DATE: FEBRUARY 13, 2020  
SCALE: 1"=40'  
FILE: 314-LIGHTING  
DEED REF: -

PROJECT:  
**FIELDSTONE INDUSTRIAL PARK**  
34 ROUTE 125  
KINGSTON, NH 03848

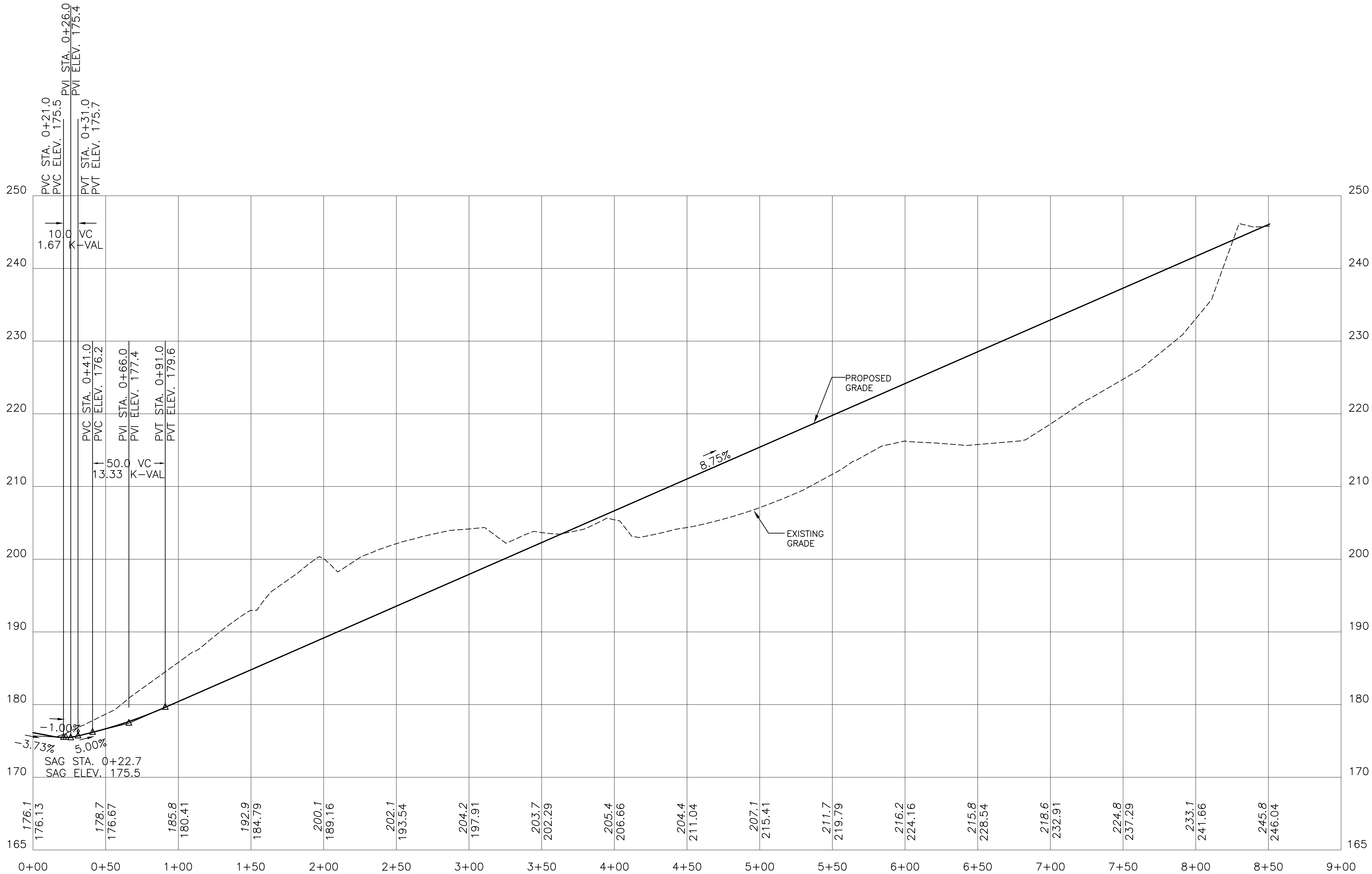
FOR  
**FIELDSTONE MEADOW REALTY, LLC**  
19 QUIMBY COURT  
DANVILLE, NH 03819

SHEET TITLE:  
**LIGHTING PLAN**

APPROVED BY THE TOWN OF KINGSTON  
PLANNING BOARD ON: \_\_\_\_\_



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## PROFILE

SCALE: 1"=40' HOR.  
1"=4' VERT.

APPROVED BY THE TOWN OF KINGSTON  
PLANNING BOARD ON: \_\_\_\_\_



**The Dubay Group, Inc.**

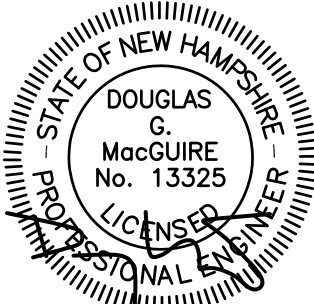
84 Range Road  
Windham, NH 03087  
603-458-6462

Engineers

Planners

Surveyors

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REV.	DATE:	COMMENT:	BY:

DRAWN BY: SJK  
CHECKED BY: DGM  
DATE: FEBRUARY 13, 2020  
SCALE: AS SHOWN  
FILE: 314-PROFILE  
DEED REF: -

### PROJECT:

**FIELDSTONE  
INDUSTRIAL  
PARK**

34 ROUTE 125  
KINGSTON, NH 03848

FOR

**FIELDSTONE MEADOW**

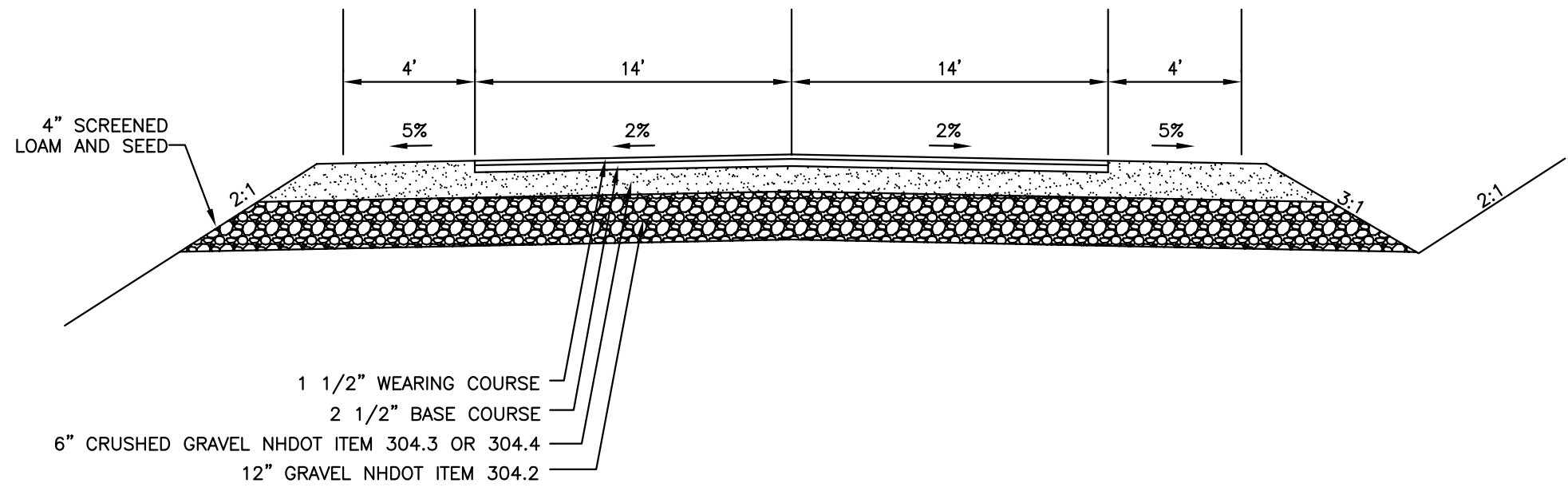
**REALTY, LLC**

19 QUIMBY COURT  
DANVILLE, NH 03819

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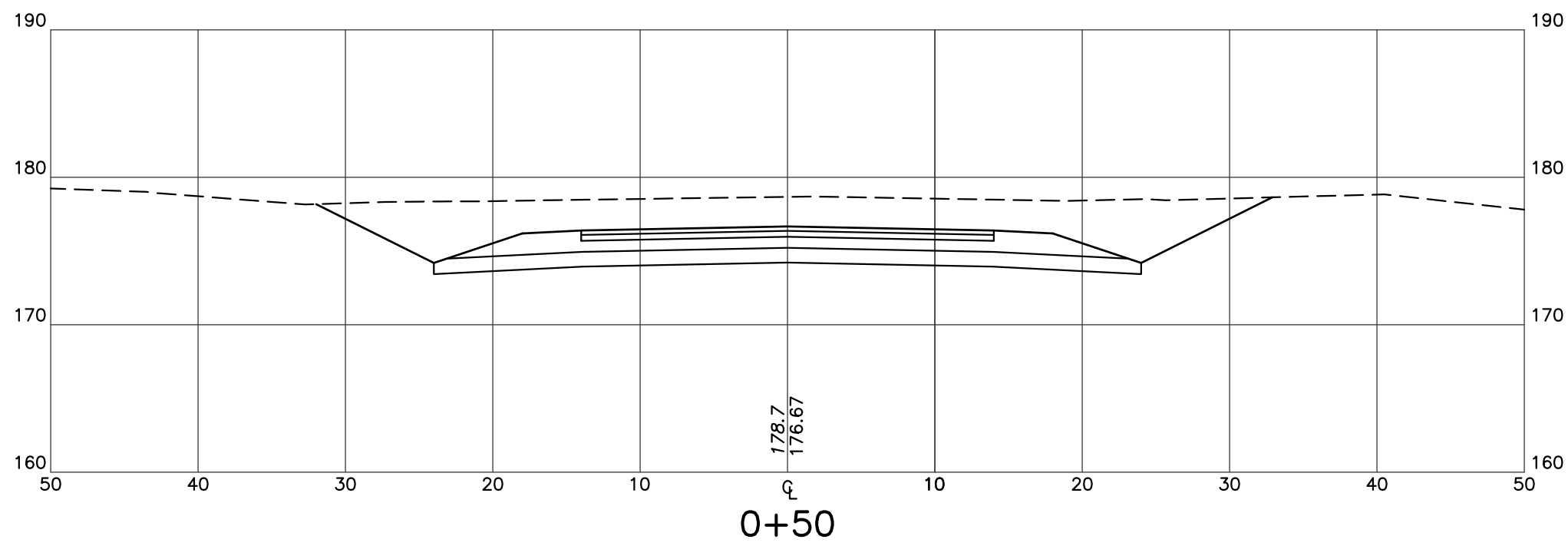
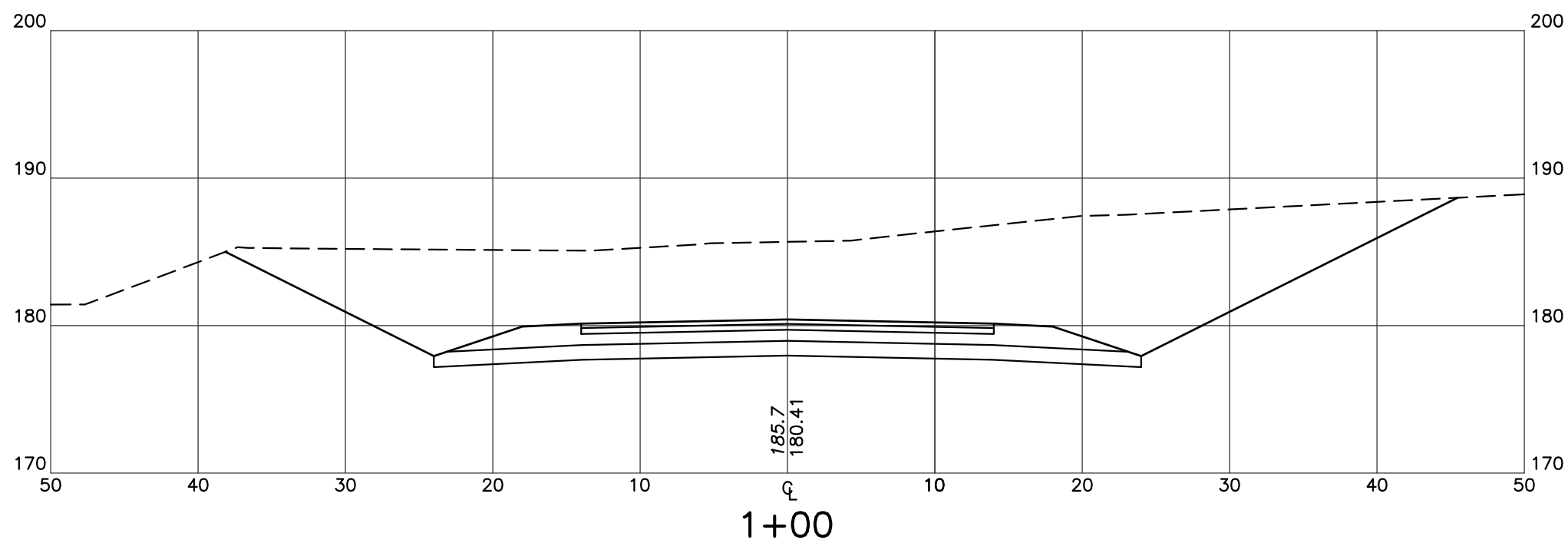
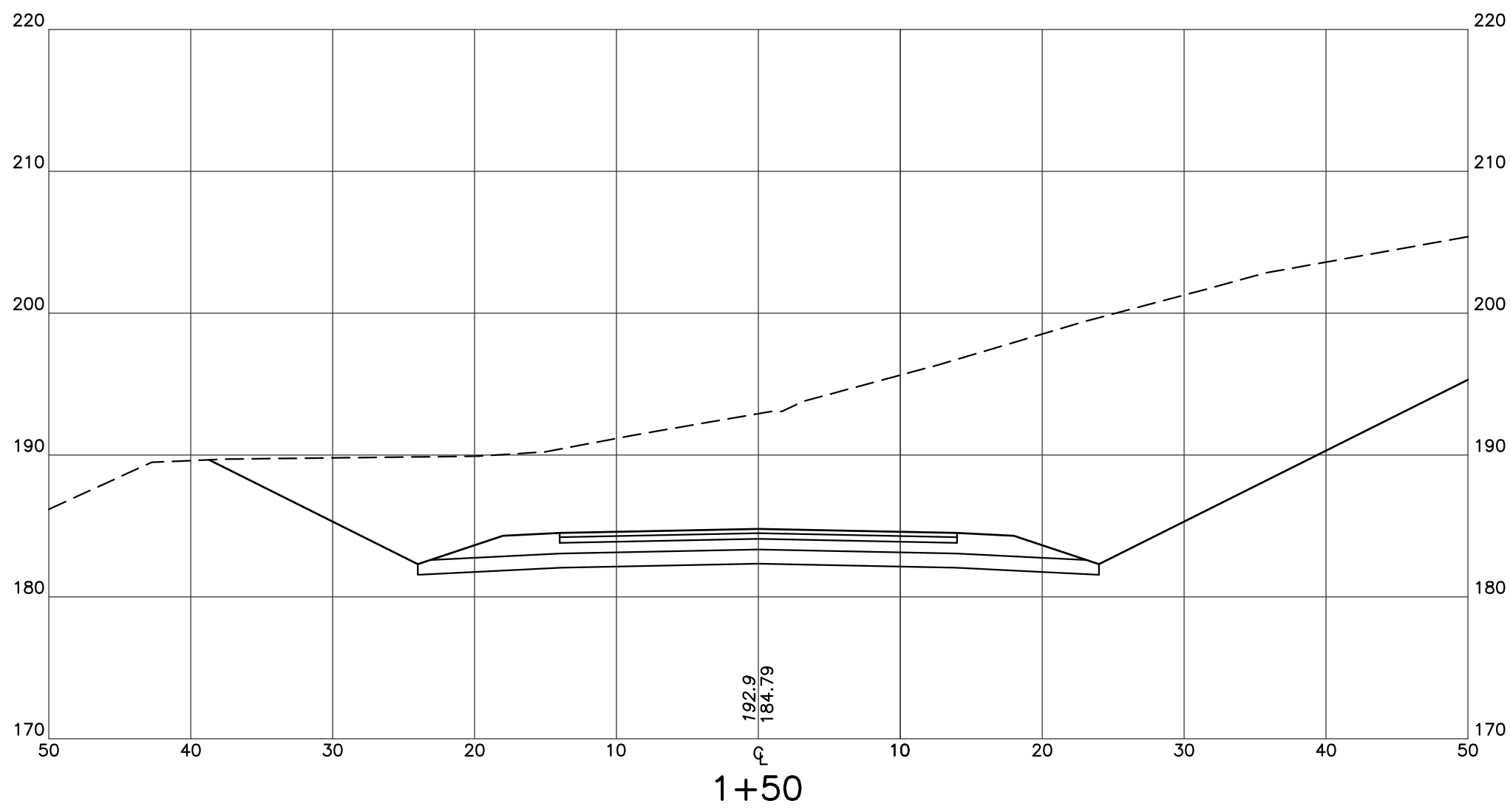
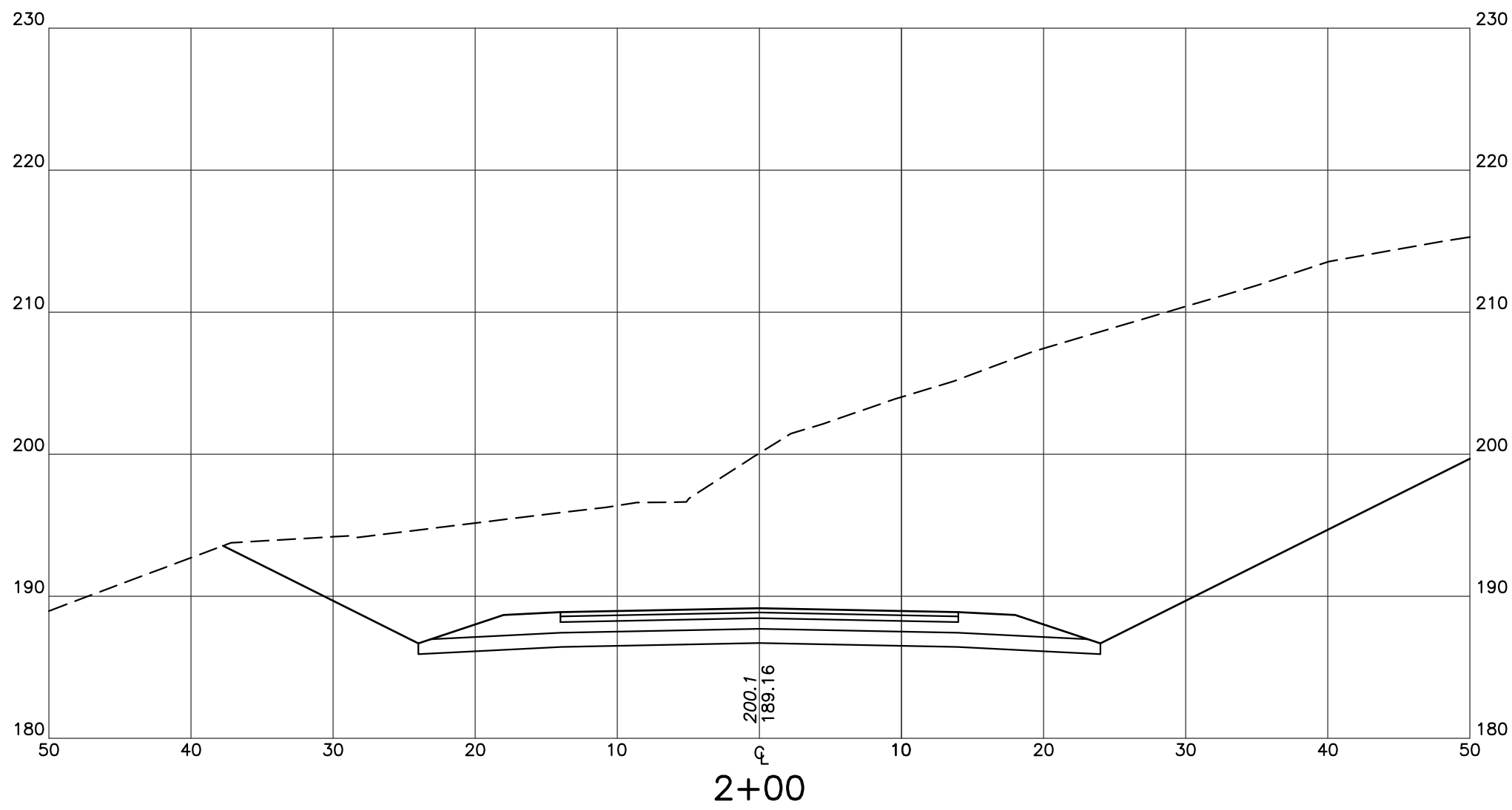
**ROAD PROFILE  
PLAN**





- NOTES:
1. INSTALLATION, SPECIFICATIONS, AND PROCEDURES SHALL COMPLY WITH NHDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
  2. INSTALL UNDERDRAIN IN WET AREAS OR AS DIRECTED BY TOWN ENGINEER
  3. ALL MATERIAL MUST BE A MINIMUM OF 95% COMPACTION @ 6% MOISTURE CONTENT

TYPICAL ROADWAY CROSS-SECTION  
NOT TO SCALE



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PLANNING BOARD ON: \_\_\_\_\_



The Dubay Group, Inc.

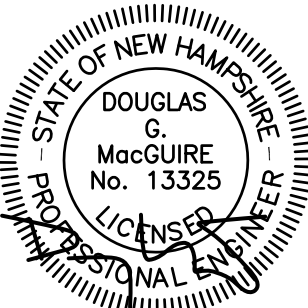
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Windham, NH 03087  
603-458-6462

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Planners

Surveyors

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REV.	DATE:	COMMENT:	BY:
1	4/17/20	REVS PER TOWN COMMENTS	SJK

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CHECKED BY: DGM  
DATE: FEBRUARY 13, 2020  
SCALE: 1"=10'  
FILE: 314-XSECT  
DEED REF: -

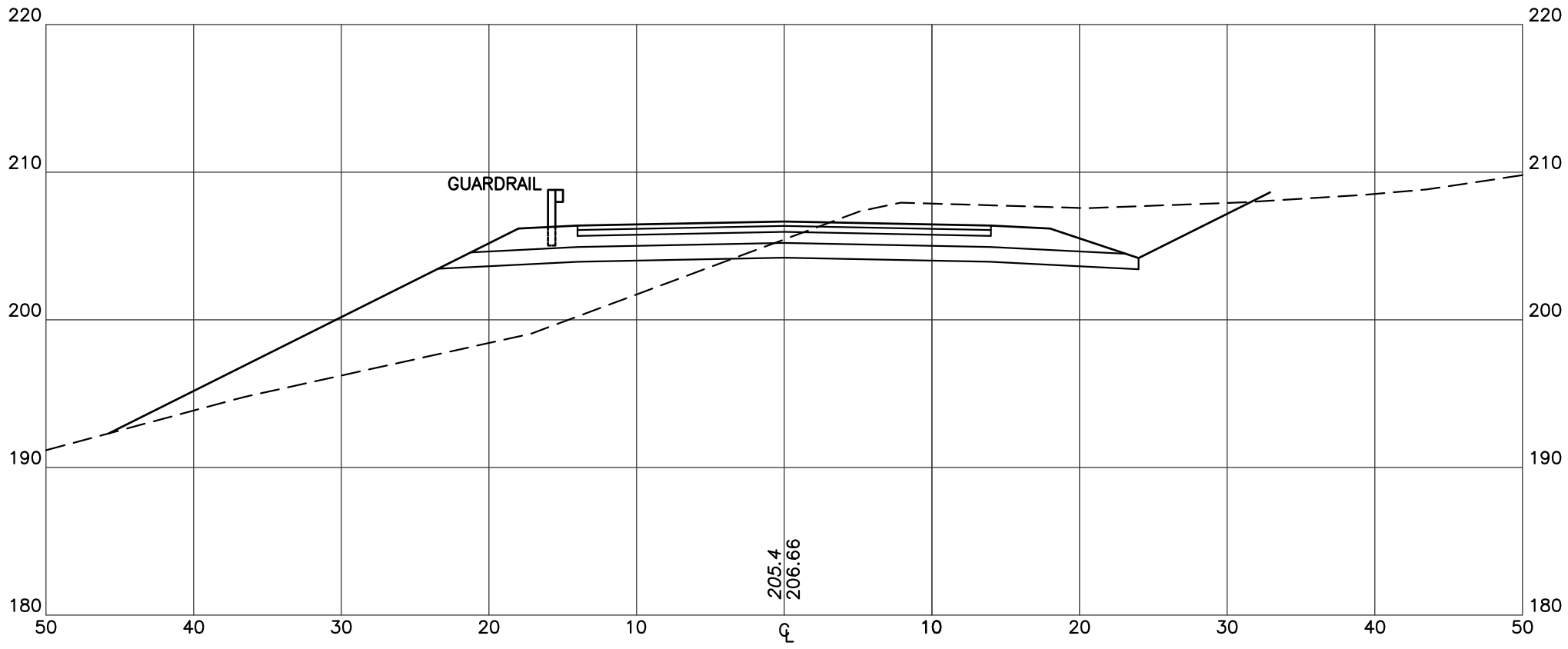
PROJECT:  
**FIELDSTONE INDUSTRIAL PARK**  
34 ROUTE 125  
KINGSTON, NH 03848

FOR  
**FIELDSTONE MEADOW REALTY, LLC**  
19 QUIMBY COURT  
DANVILLE, NH 03819

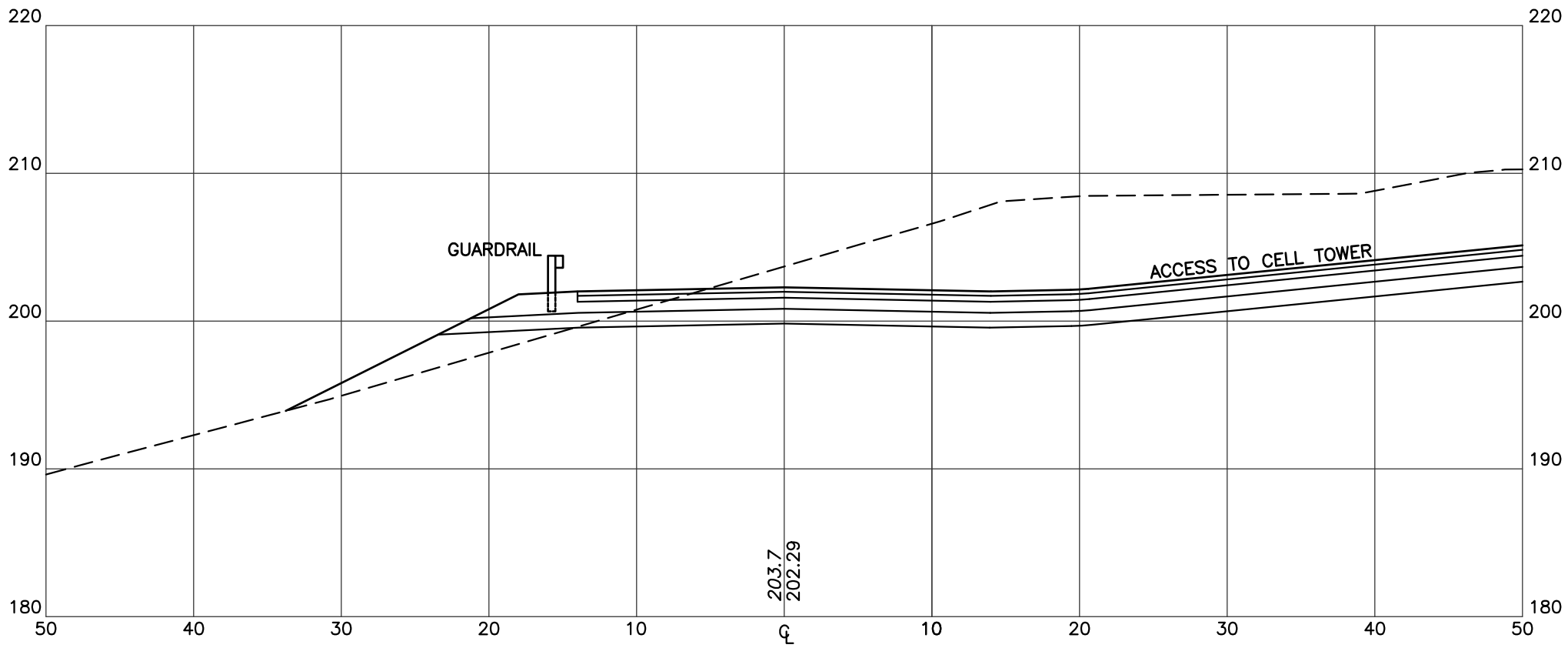
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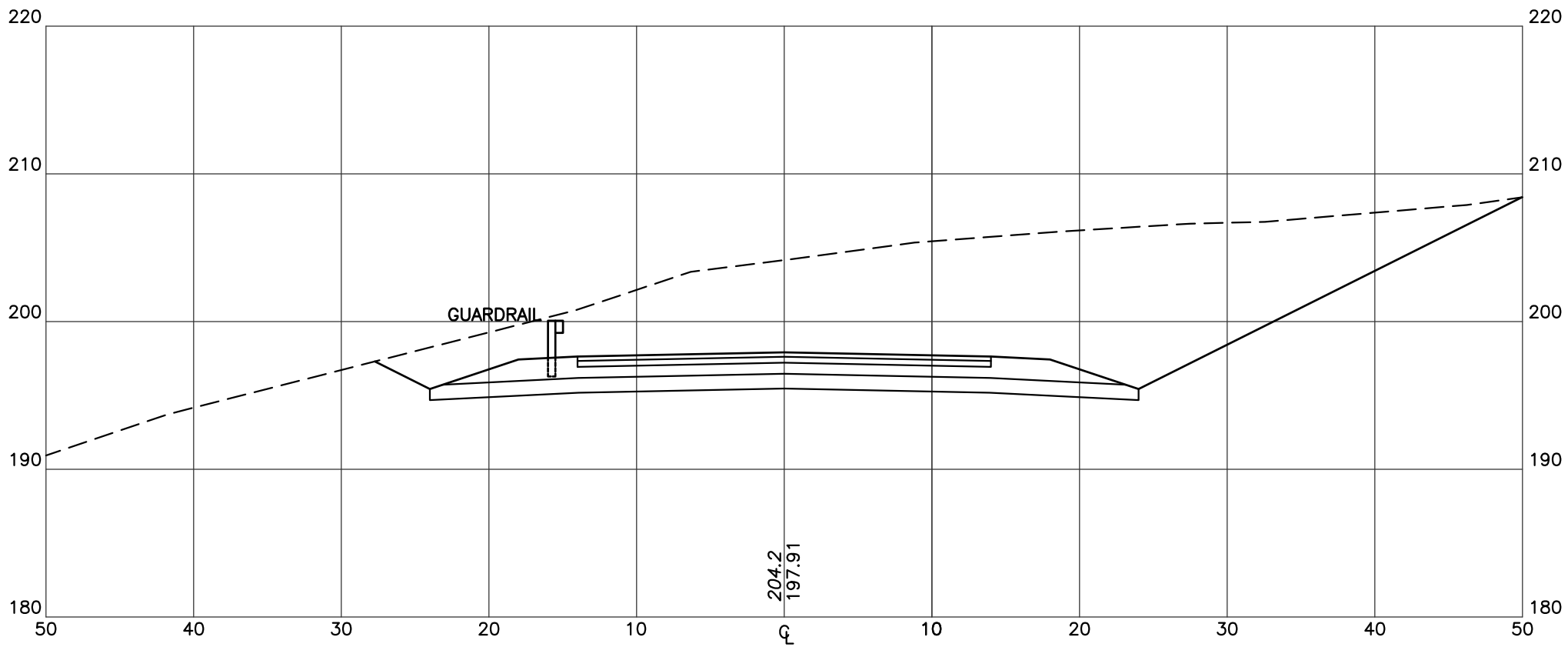
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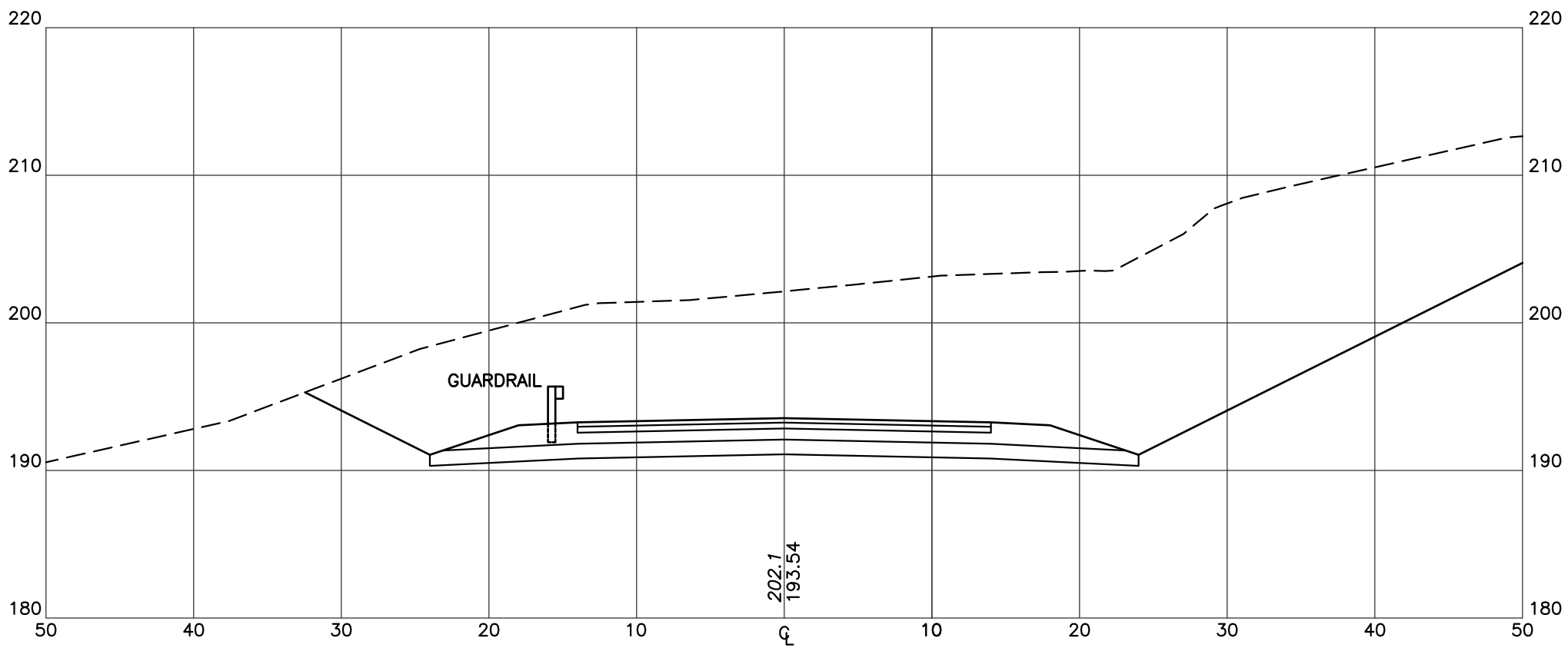
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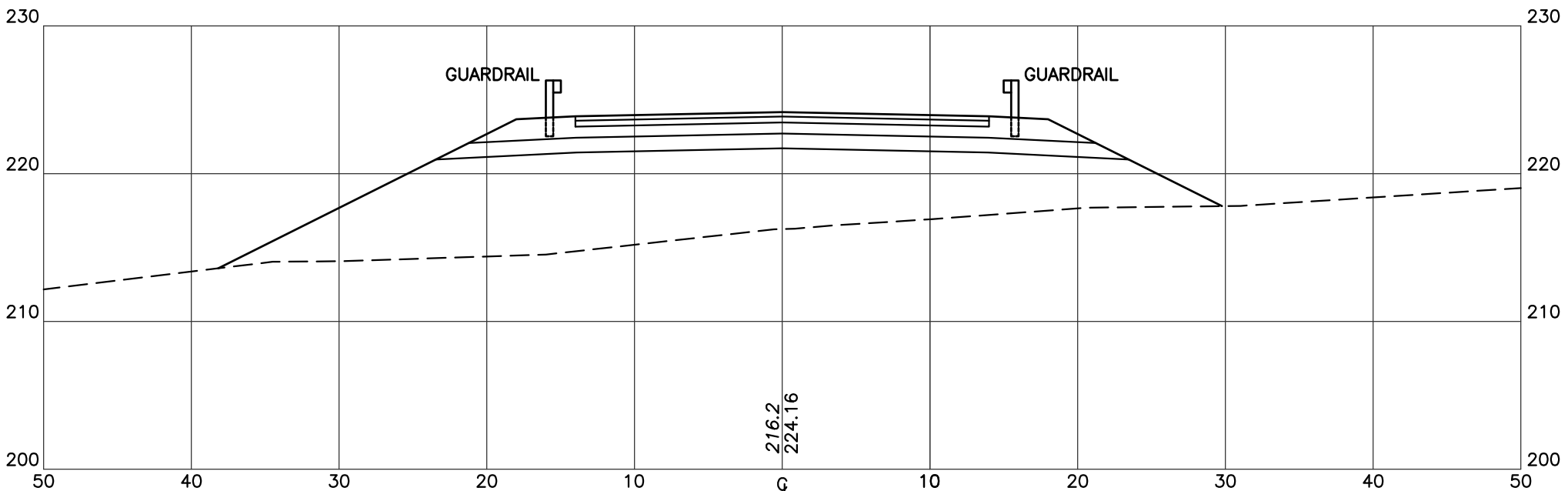
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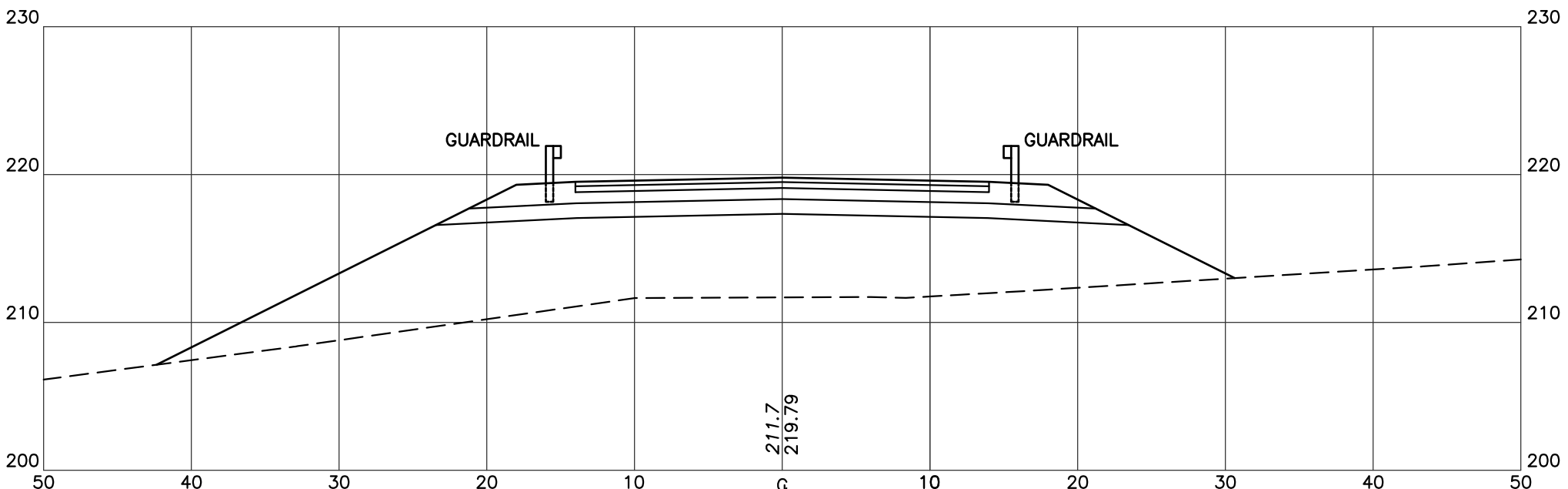
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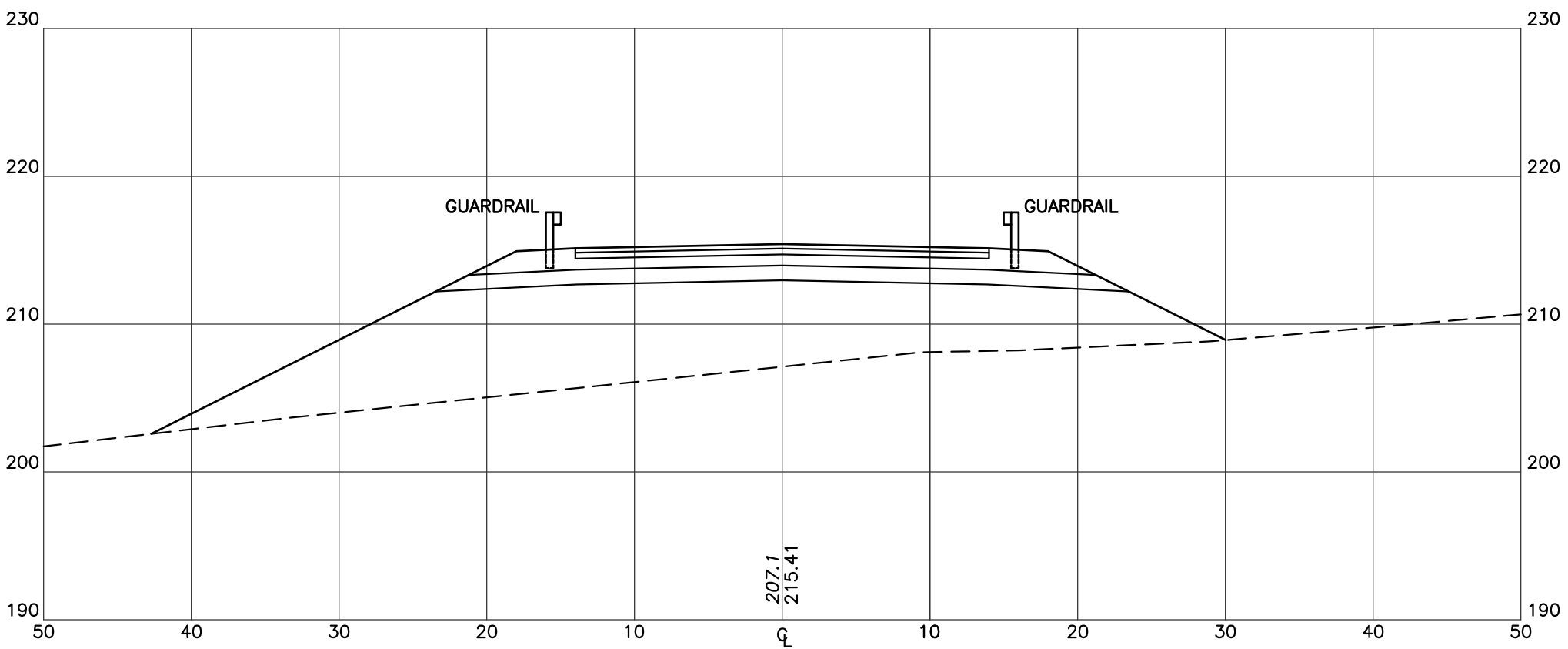
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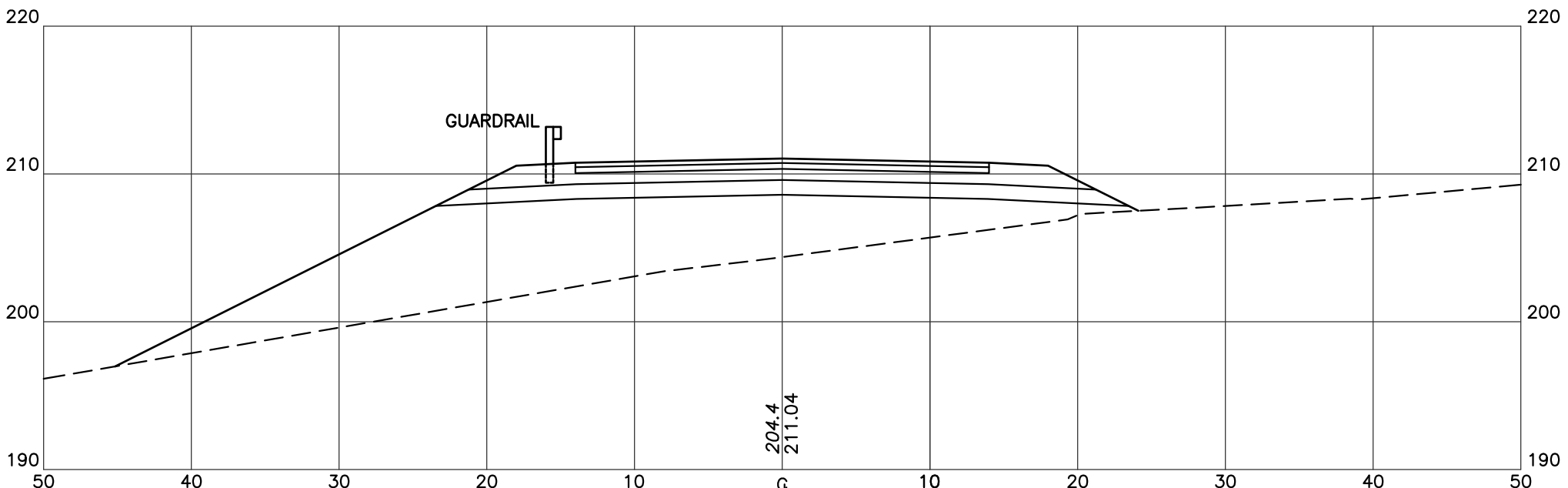
6+00



5+50



5+00



4+50

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PLANNING BOARD ON: \_\_\_\_\_  
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**The Dubay Group, Inc.**

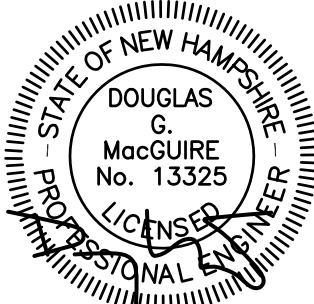
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Windham, NH 03087  
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Planners

Surveyors

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REV.	DATE:	COMMENT:	BY:
1	4/17/20	REVS PER TOWN COMMENTS	SJK

DRAWN BY: SJK  
CHECKED BY: DGM  
DATE: FEBRUARY 13, 2020  
SCALE: 1"=10'  
FILE: 314-XSECT  
DEED REF: -

PROJECT:

**FIELDSTONE  
INDUSTRIAL  
PARK**

34 ROUTE 125  
KINGSTON, NH 03848

FOR

**FIELDSTONE MEADOW  
REALTY, LLC**

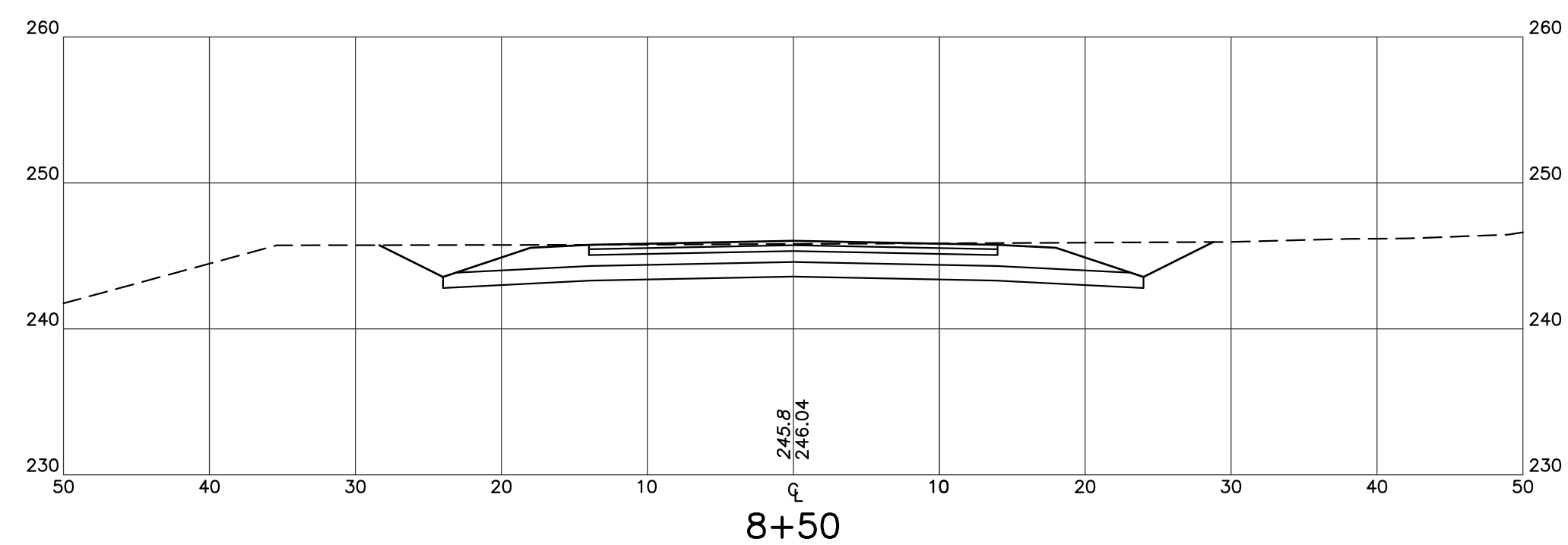
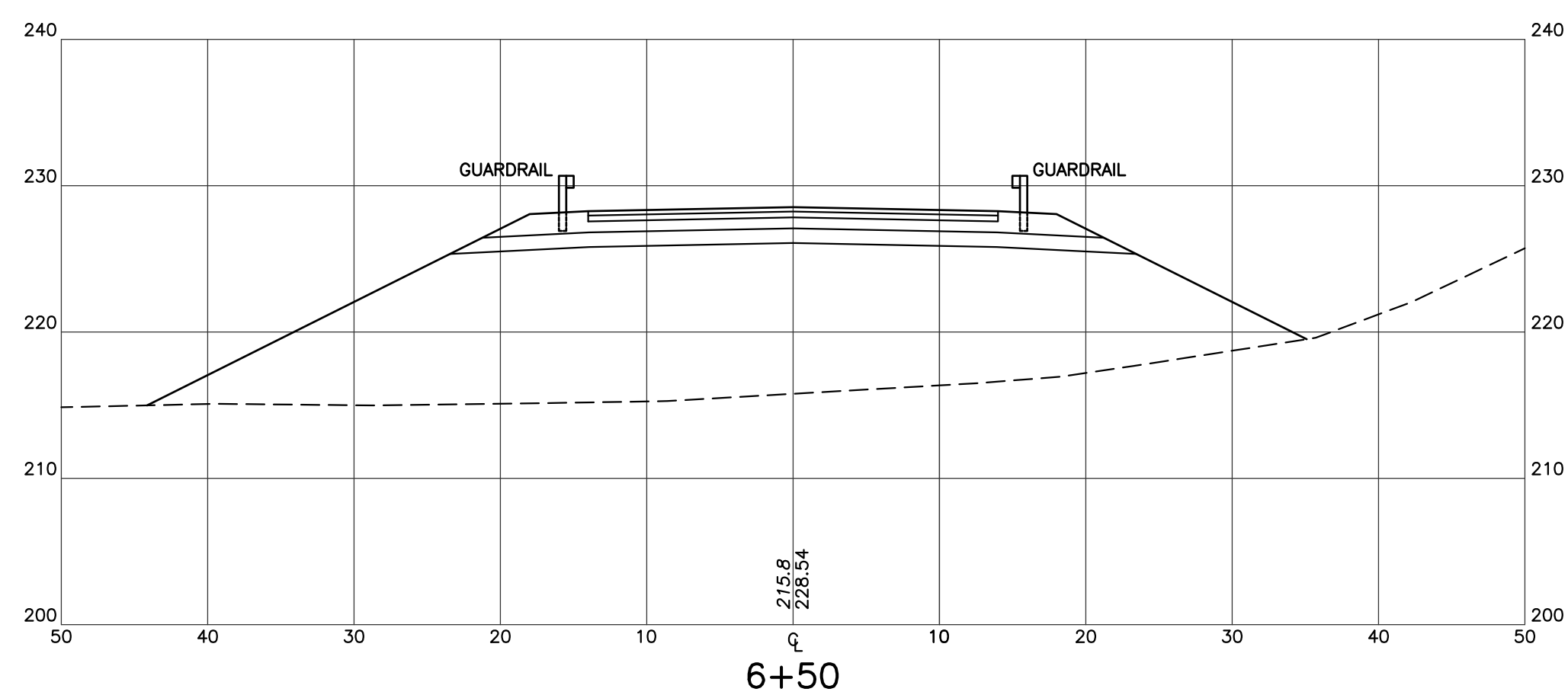
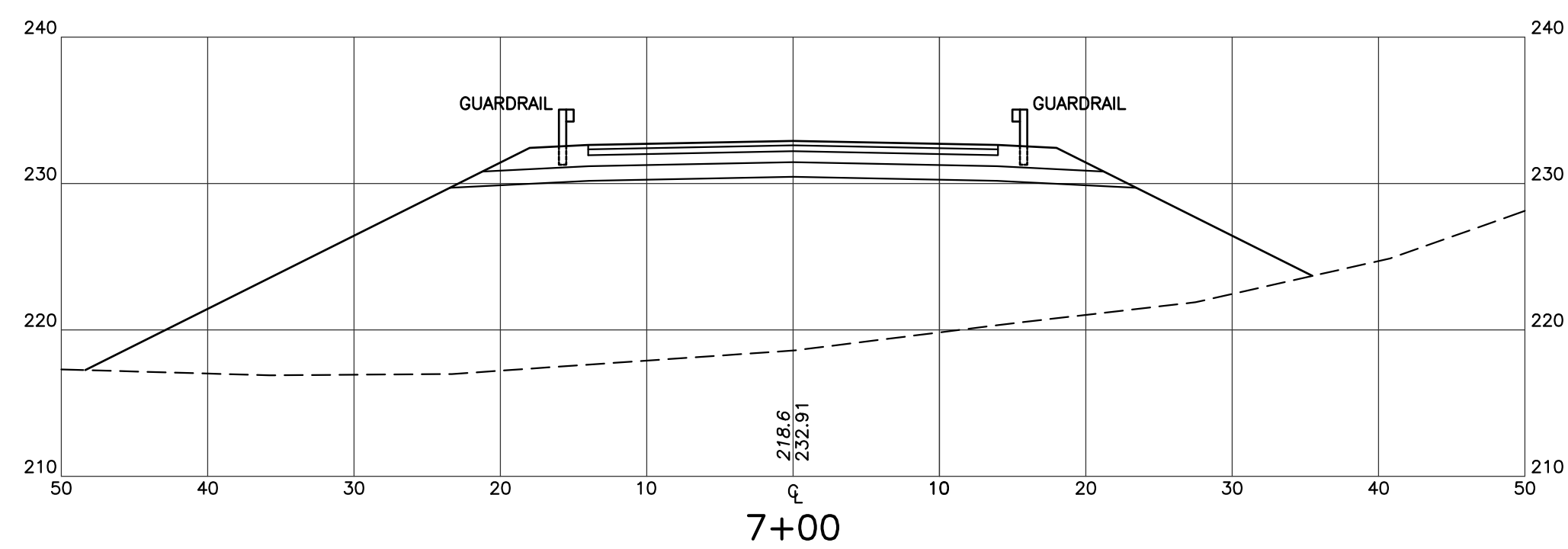
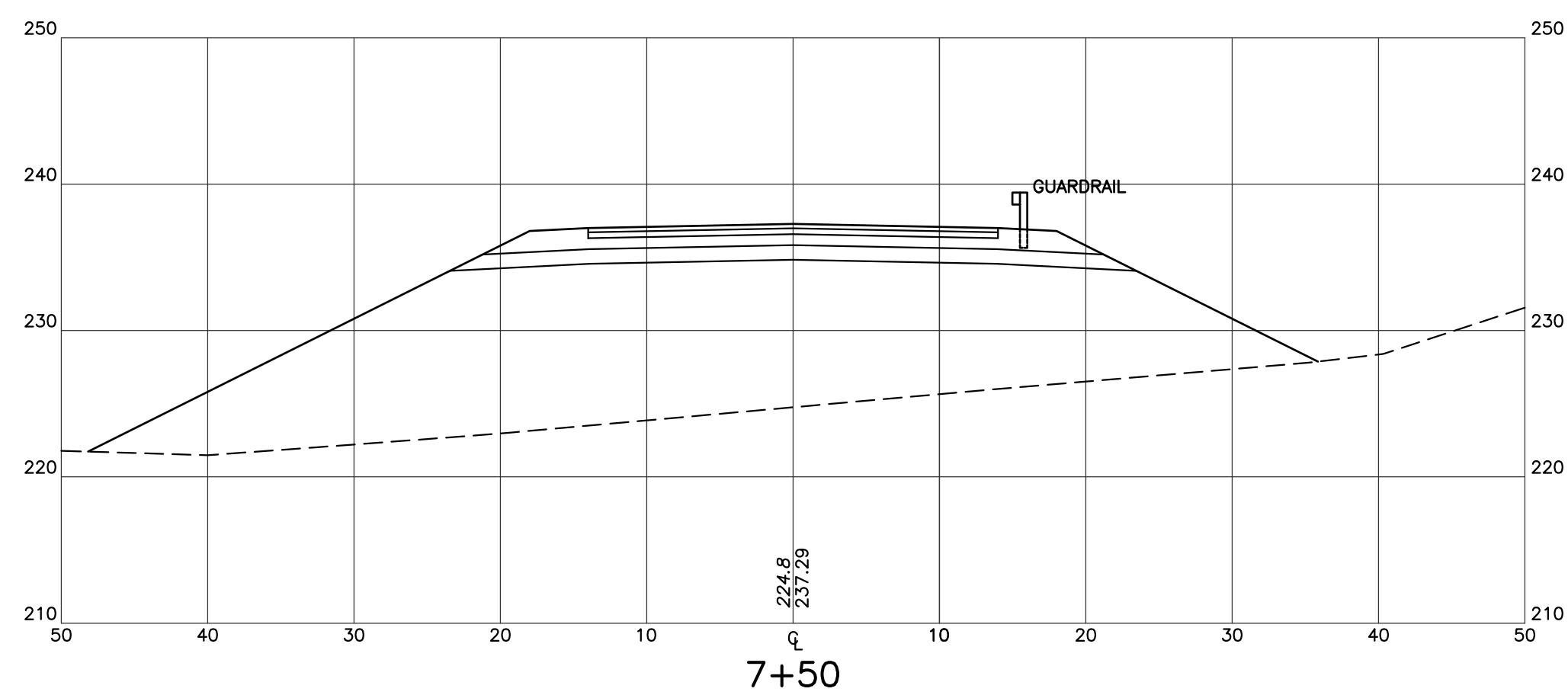
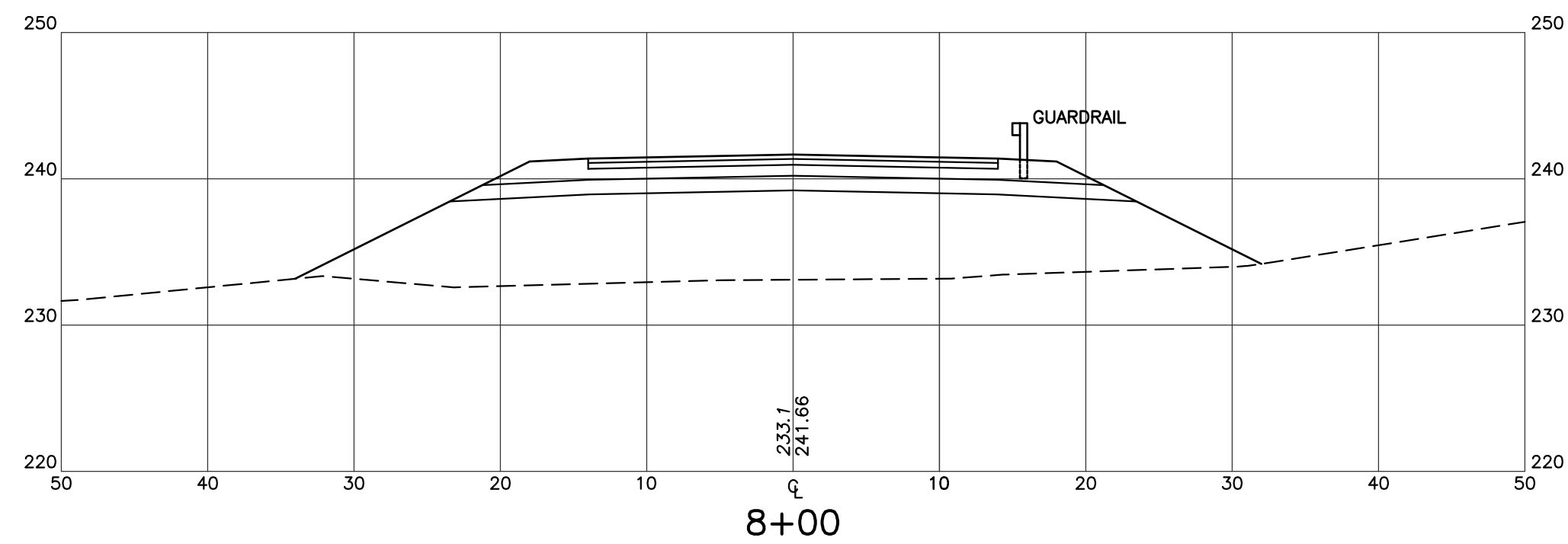
19 QUIMBY COURT  
DANVILLE, NH 03819

SHEET TITLE:

**ROADWAY  
CROSS  
SECTIONS-B**

PROJECT #314 SHEET 15 of 25





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PLANNING BOARD ON:

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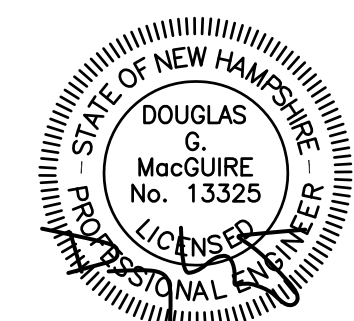
**The Dubay Group, Inc.**  
84 Range Road  
Windham, NH 03087  
603-458-6462

Engineers

## Planners

## Surveyors

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CHECKED BY: DGM  
DATE: FEBRUARY 13, 2020  
SCALE: 1"=10'  
FILE: 314-XSECT  
DEED REF: -

PROJECT:

# FIELDSTONE INDUSTRIAL PARK

34 ROUTE 125  
KINGSTON, NH 03848

— FOR —

**FIELDSTONE MEADOW**

**REALTY, LLC**

19 QUIMBY COURT  
DANVILLE, NH 03819

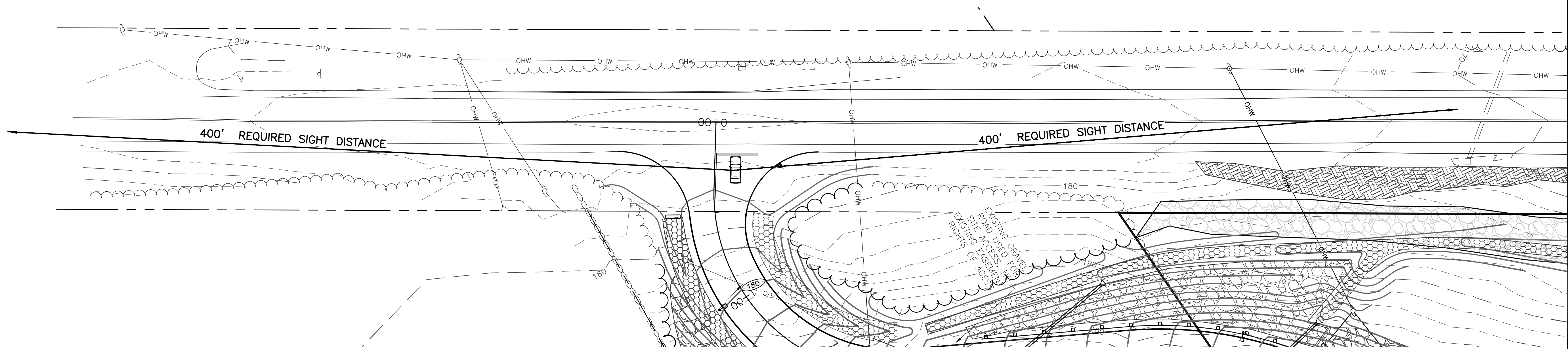
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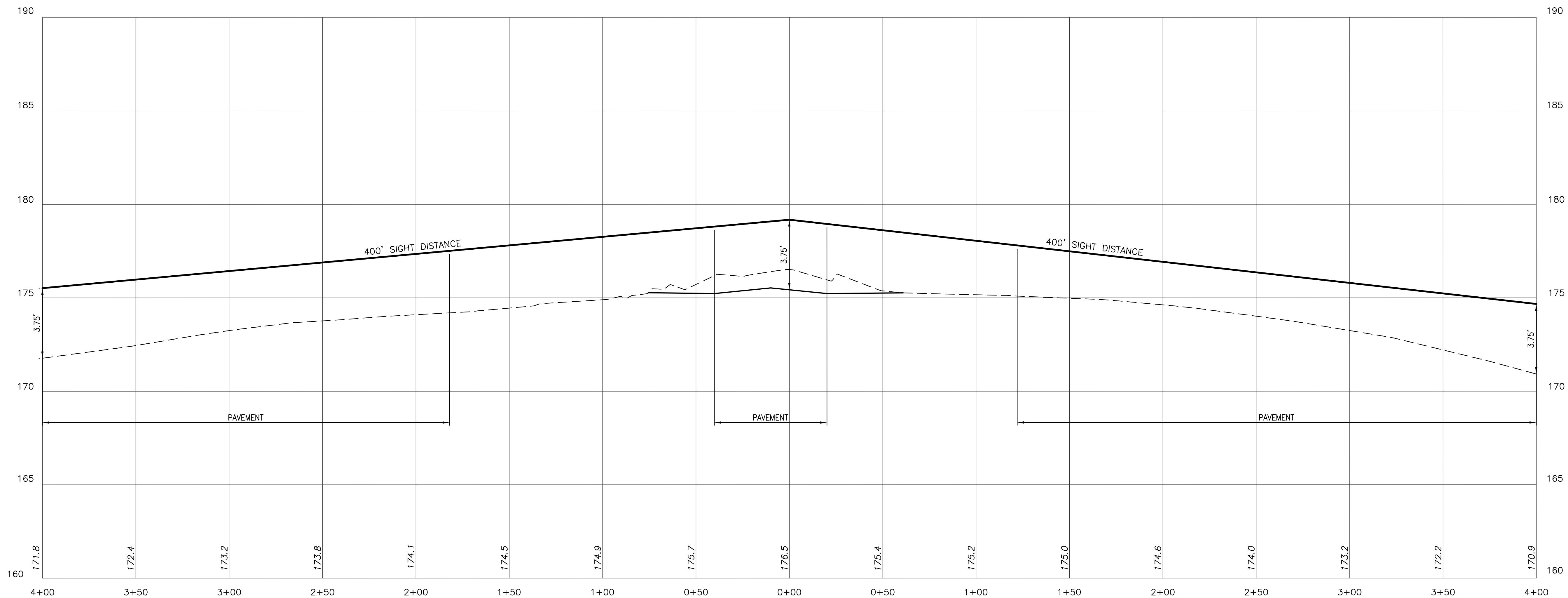
PROJECT #314 SHEET 16 of 25



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SIGHT DISTANCE PLAN  
SCALE: 1"=30'



SIGHT DISTANCE PROFILE  
SCALE: 1"=30' HORIZ., 3' VERT.

APPROVED BY THE TOWN OF KINGSTON  
PLANNING BOARD ON: \_\_\_\_\_



The Dubay Group, Inc.

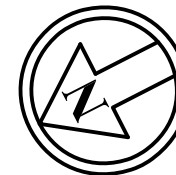
84 Range Road  
Windham, NH 03087  
603-458-6462

Engineers

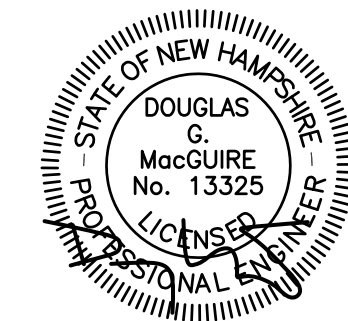
Planners

Surveyors

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30 0 15 30  
1 INCH = 30 FEET



REVISIONS:			
REV.	DATE:	COMMENT:	BY:

DRAWN BY: SJK  
CHECKED BY: DGM  
DATE: FEBRUARY 13, 2020  
SCALE: 1"=30'  
FILE: 314-SIGHT DISTANCE  
DEED REF: -

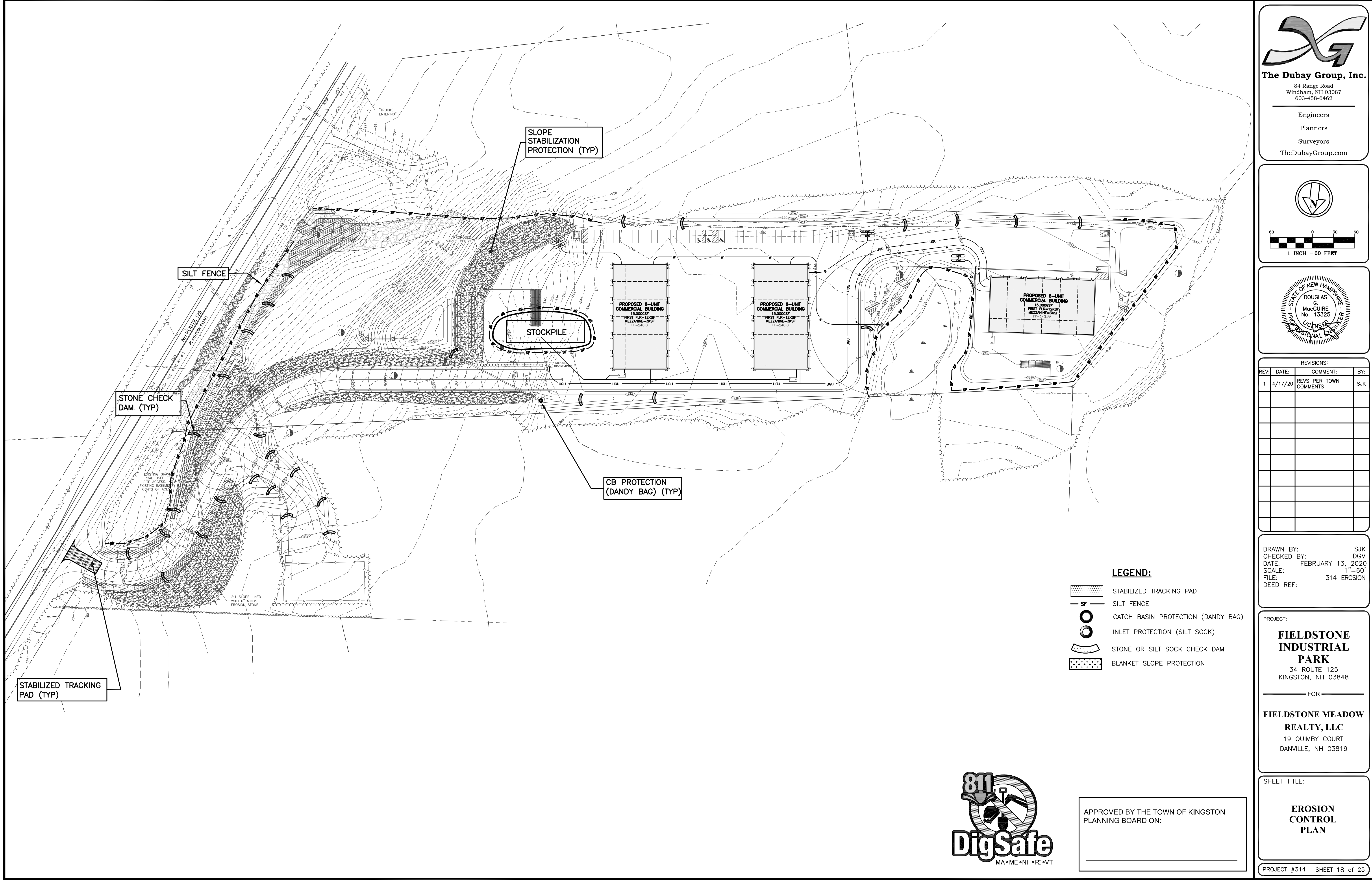
PROJECT:  
**FIELDSTONE INDUSTRIAL PARK**  
34 ROUTE 125  
KINGSTON, NH 03848  
FOR

**FIELDSTONE MEADOW REALTY, LLC**  
19 QUIMBY COURT  
DANVILLE, NH 03819

SHEET TITLE:  
**SIGHT DISTANCE PLAN AND PROFILE**



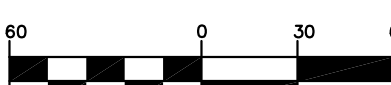
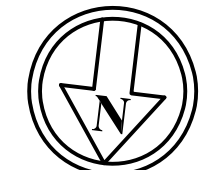
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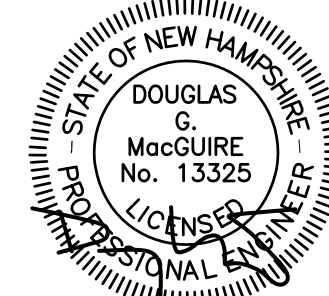


**The Dubay Group, Inc.**  
84 Range Road  
Windham, NH 03087  
603-458-6462

Engineers  
Planners  
Surveyors  
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1 INCH = 60 FEET



DOUGLAS G. MacGUIRE  
No. 13325  
LICENSED PROFESSIONAL ENGINEER  
STATE OF NEW HAMPSHIRE

REVISIONS:			
REV.	DATE:	COMMENT:	BY:
1	4/17/20	REVS PER TOWN COMMENTS	SJK

DRAWN BY: SJK  
CHECKED BY: DGM  
DATE: FEBRUARY 13, 2020  
SCALE: 1"=60'  
FILE: 314-EROSION  
DEED REF: -

PROJECT:

**FIELDSTONE INDUSTRIAL PARK**  
34 ROUTE 125  
KINGSTON, NH 03848

FOR

**FIELDSTONE MEADOW REALTY, LLC**  
19 QUIMBY COURT  
DANVILLE, NH 03819

SHEET TITLE:

**EROSION CONTROL PLAN**



APPROVED BY THE TOWN OF KINGSTON  
PLANNING BOARD ON: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_



1. A PRE-CONSTRUCTION MEETING IS TO BE HELD PRIOR TO CONSTRUCTION WITH NOTICE TO THE OWNER, ALL TOWN DEPARTMENTS, AND TOWN ENGINEER.
2. INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES AS REQUIRED. CLEAR AND GRUB REQUIRED AREAS AS LAYED OUT BY THE SURVEYOR.
3. LIMIT TOTAL AREA TO BE DISTURBED DURING CONSTRUCTION OF THE SITE AS MUCH AS PRACTICABLE, BEFORE DISTURBED AREAS ARE STABILIZED. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 72 HOURS AFTER FINAL GRADING. DISTURBED AREA MUST BE LIMITED TO NO MORE THAN 5 ACRES OPEN AT ANY ONE TIME. EXPOSURE OF UN-STABILIZED SOILS SHALL BE LIMITED TO LESS THAN 60 DAYS.
4. REMOVE AND STOCKPILE MATERIALS AS REQUIRED. STOCKPILE SHALL BE SURROUNDED WITH STRAWBALES TO PREVENT EROSION. STOCKPILE AREAS ARE LIMITED AND THUS MANAGEMENT OF MATERIALS WILL BE REQUIRED.
5. PERFORM SITE GRADING. INSTALL DRAINAGE SYSTEMS AND UTILITIES.
6. INSTALL PERMANENT STORM WATER TREATMENT SYSTEMS. INSTALL UNDERGROUND UTILITIES AND PLACE EROSION CONTROL MEASURES AT ALL DRAINAGE BASINS PRIOR TO DIRECTING ANY RUNOFF TO THEM. DRAINAGE SYSTEMS SHALL BE CONSTRUCTED AND STABILIZED PRIOR TO DIRECTING ANY FLOW TO THEM. ALL SIDE SLOPES SHALL BE STABILIZED WITHIN 72 HOURS.
7. FINALIZE GRADING AND PLACEMENT OF SELECTS.
8. FINISH PAVING ROADWAY. CLEAN ALL DRAINAGE STRUCTURES.
9. COMPLETE PERMANENT LOAMING, SEEDING, AND LANDSCAPING.
10. WINTERIZATION EFFORTS FOR AREAS NOT STABILIZED BY NOV. 1ST SHALL BE MADE BY THE APPROPRIATE USE OF MATTING, BLANKETS, MULCH AND SEEDING.
11. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - A. GRAVE COURSE ABOVE HAS BEEN INSTALLED IN AREAS TO BE PAVED;
  - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
  - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIP RAP HAS BEEN INSTALLED; OR
  - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.



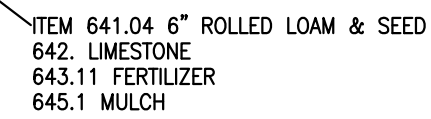
1. ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
2. RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.
3. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.

NOT TO SCALE



1. SILT SOCK SHALL BE FILTREXX<sup>TM</sup> SILTSOCK<sup>TM</sup> OR APPROVED EQUIVALENT.
2. SEE SPECIFICATIONS FOR SOCK SIZE AND COMPOST FILL REQUIREMENTS.
3. SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED AS NEEDED.
4. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.

NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



NOT TO SCALE



1. PREPARE SOIL BEFORE INSTALLING BLANKETS. INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
  2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN A 6" DEEP X 6" WIDE TRENCH WITH APPROXIMATELY 12" OF BLANKET EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE BLANKET WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING PORTION OF BLANKET BACK OVER SEED AND COMPACTED SOIL. SECURE BLANKET OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" APART ACROSS THE WIDTH OF THE BLANKET.
  3. ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. BLANKETS WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL BLANKETS MUST BE SECURELY FASTENED TO TOP OF SLOPE USING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING OPTIONAL DOT SYSTEM, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
  4. THE EDGES OF PARALLEL BLANKETS MUST BE STITCHED WITH APPROXIMATELY 2" - 5" STAPLE DEPENDING ON BLANKET TYPE. TO ENSURE PROPER SEAM ALIGNMENT, PLACE THE EDGE OF THE OVERLAPPING BLANKET (BLANKET BEING INSTALLED ON TOP) EVEN WITH THE COLORED SEAM STITCH ON THE PREVIOUSLY INSTALLED BLANKET.
  5. CONSECUTIVE BLANKETS SPLINED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" OVERLAP. STAPLE THROUGH CENTER OF EACH BLANKET APPROXIMATELY 12" APART ACROSS ENTIRE BLANKET WIDTH.
  6. IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" MAY BE NECESSARY TO PROPERLY SECURE THE BLANKETS.
  7. INSTALL PRODUCT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- \* DUE TO THE POTENTIAL OF ENDANGERED SPECIES ON SITE, CONTRACTORS SHALL USE ROLLMAX BIONET C125BN EROSION CONTROL BLANKET OR EQUIVALENT. BLANKETS ARE MADE OF 100% COCONUT FIBER AND ARE 100%

NOT TO SCALE



1. FILTER CLOTH - SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE SURFACE.
2. WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
3. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
4. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
5. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN STORM EVENT.

NOT TO SCALE

APPROVED BY THE TOWN OF KINGSTON  
PLANNING BOARD ON:

**The Dubai Group, Inc.**

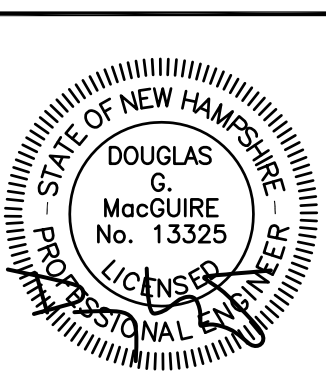
84 Range Road  
Windham, NH 03087  
603-458-6462

## Engineers

## Planners

## Surveyors

TheDubayGroup.com

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DRAWN BY: SJK  
CHECKED BY: DGM  
DATE: FEBRUARY 13, 2020  
SCALE: AS SHOWN  
FILE: 314-DETAILS  
DEED REF: -

PROJECT:

34 ROUTE 125  
KINGSTON, NH 03848

\_\_\_\_\_ FOR \_\_\_\_\_

## 19. QUIMBY COURT

DANVILLE, NH 03819

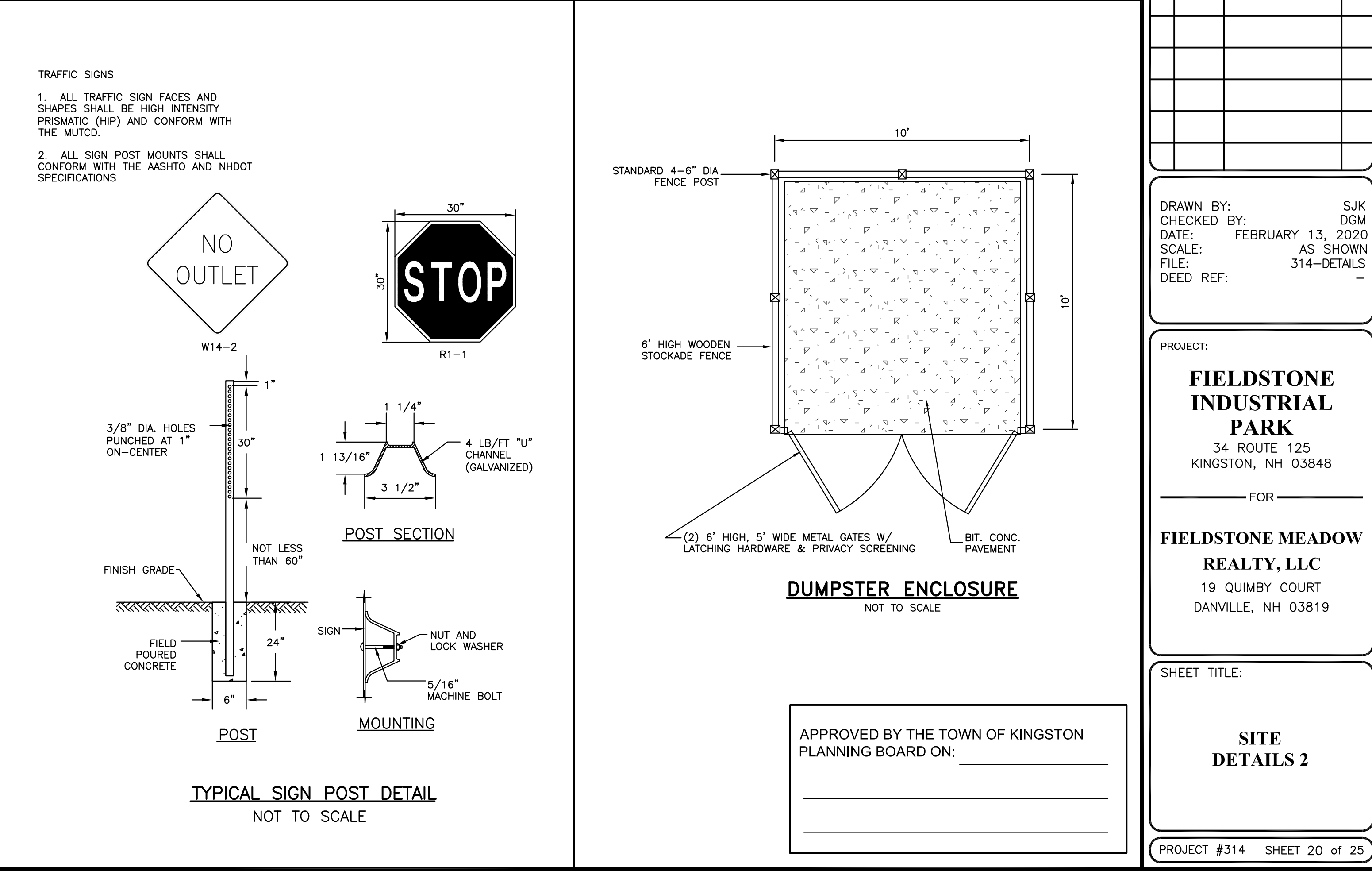
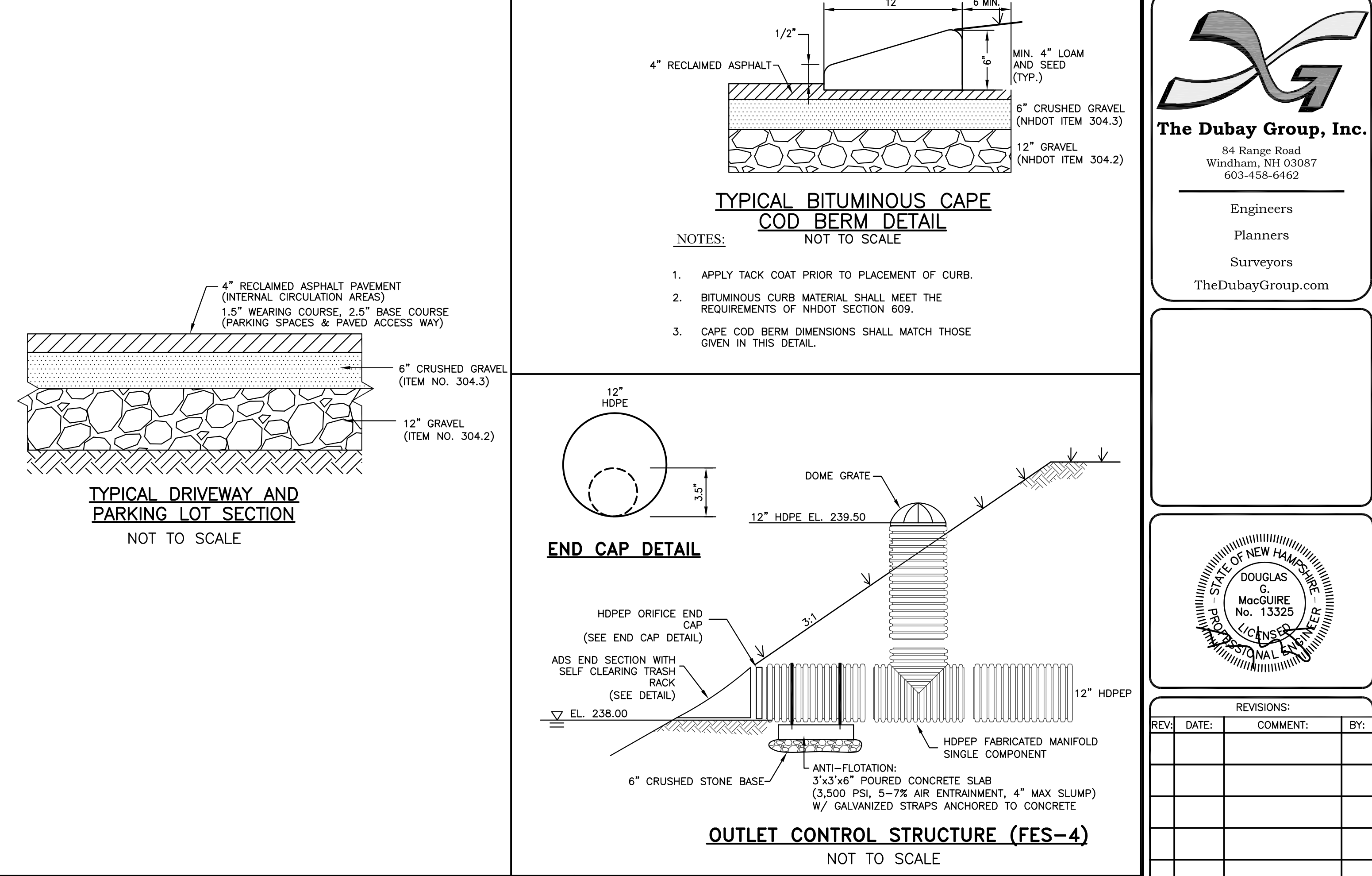
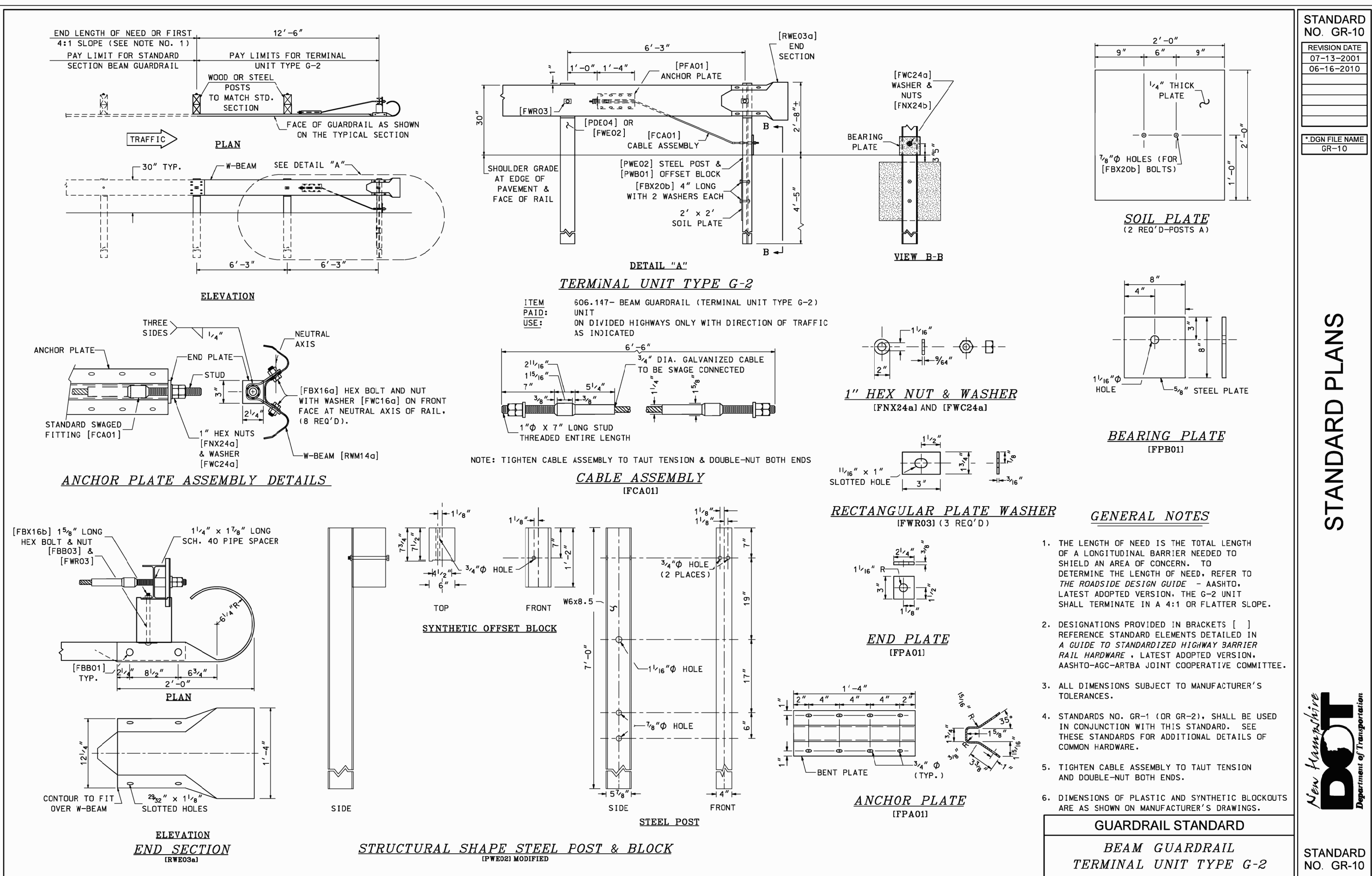
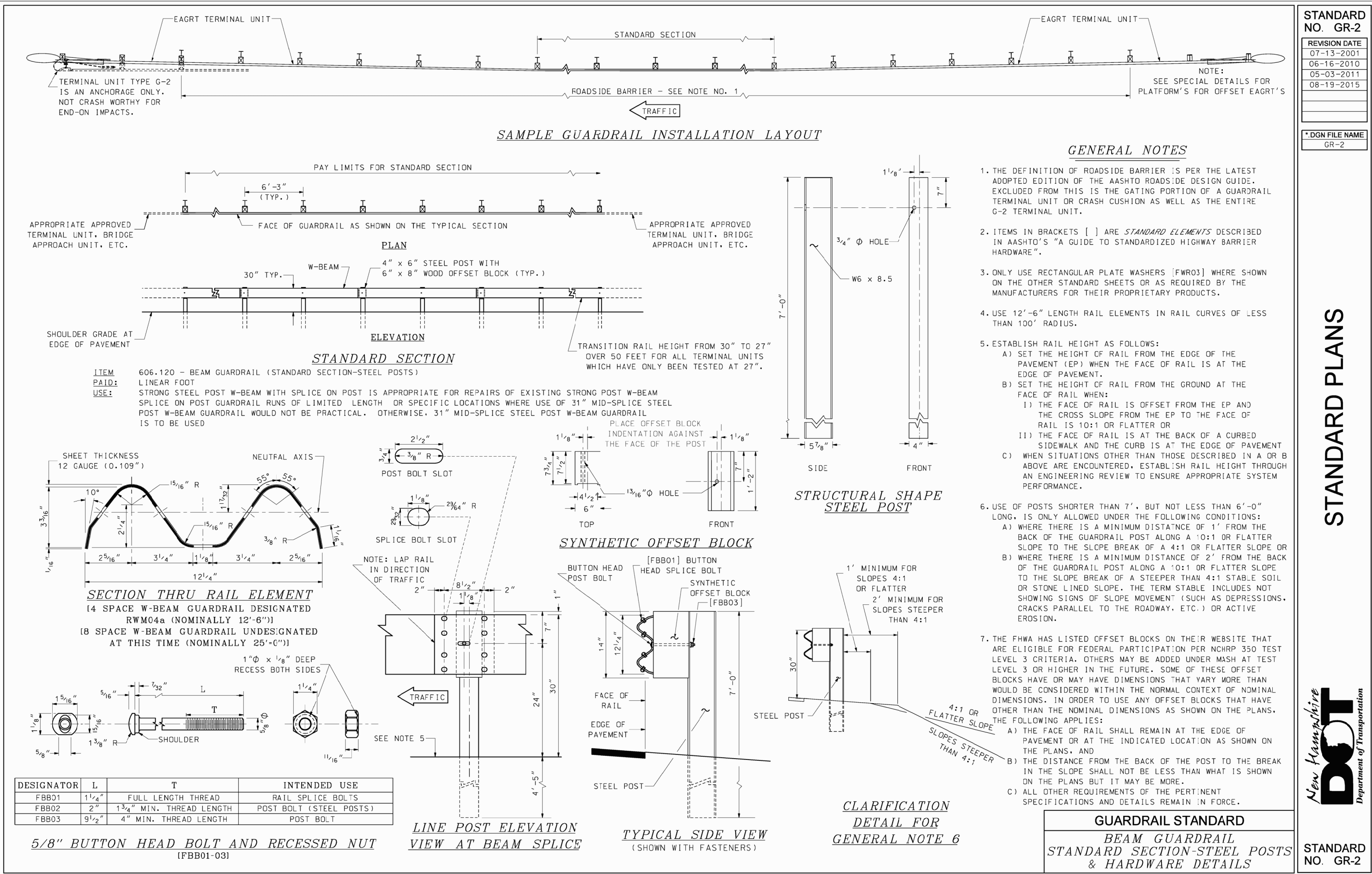
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## SITE DETAILS 1

PROJECT #314 SHEET 19 of 25

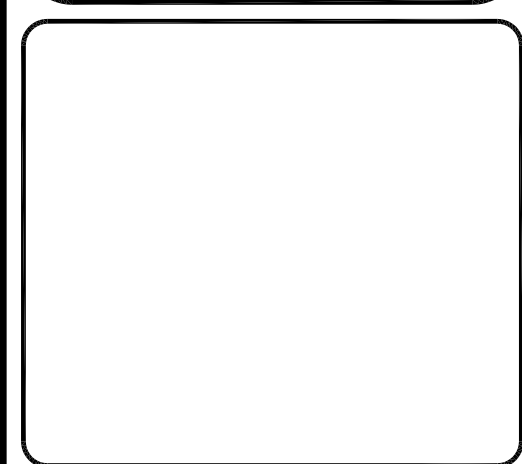


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**The Dubay Group, Inc.**  
84 Range Road  
Windham, NH 03087  
603-458-6462

Engineers  
Planners  
Surveyors  
TheDubayGroup.com



REVISIONS:			
REV.	DATE:	COMMENT:	BY:


DRAWN BY: SJK  
CHECKED BY: DGM  
DATE: FEBRUARY 13, 2020  
SCALE: AS SHOWN  
FILE: 314-DETAILS  
DEED REF: -

PROJECT:  
**FIELDSTONE INDUSTRIAL PARK**  
34 ROUTE 125  
KINGSTON, NH 03848  
FOR

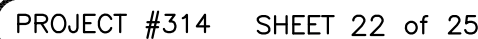
**FIELDSTONE MEADOW REALTY, LLC**  
19 QUIMBY COURT  
DANVILLE, NH 03819

SHEET TITLE:  
**SITE DETAILS 2**  
PROJECT #314 SHEET 20 of 25







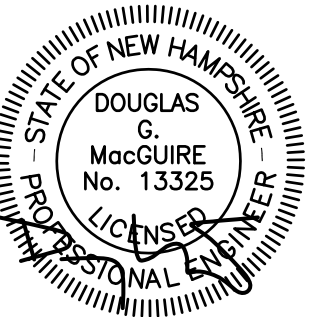


NOT TO SCALE





% OF WEIGHT SMALLER THAN GIVEN SIZE	FOR d <sub>50</sub> = 6"	FOR d <sub>50</sub> = 8"
100	9" - 12"	12" - 16"
85	8" - 11"	10" - 14"
50	6" - 9"	8" - 12"
15	2" - 3"	2" - 4"

[illegible]

DRAWN BY: SJK  
CHECKED BY: DGM  
DATE: APRIL 17, 2020  
SCALE: AS SHOWN  
FILE: 314-DETAILS  
DEED REF: -

PROJECT:

34 ROUTE 125  
KINGSTON, NH 03848

— FOR —

19 QUIMBY COURT  
DANVILLE, NH 03819

## SITE DETAILS 5



WATERSHED LEGEND:

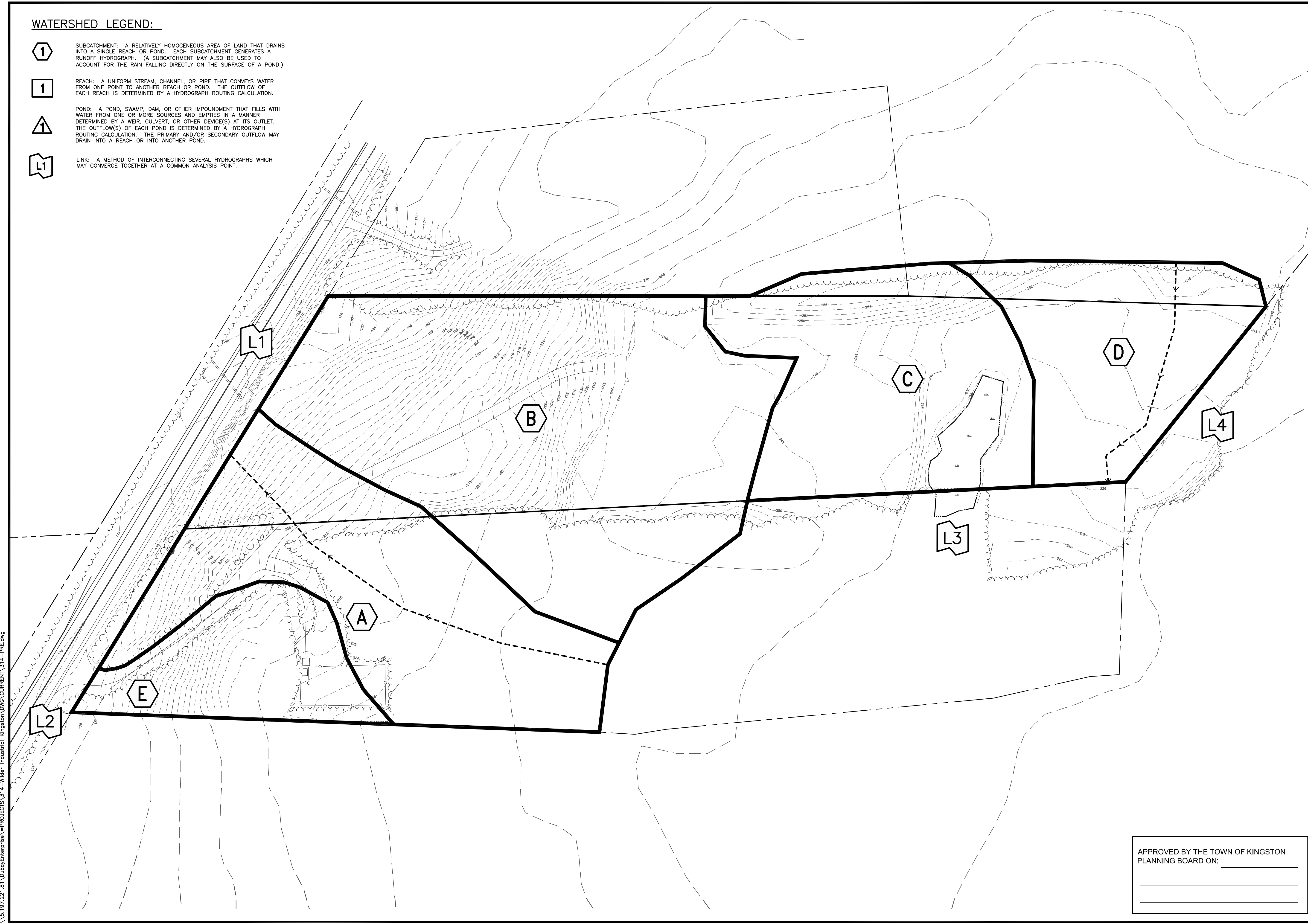
- 1

SUBCATCHMENT: A RELATIVELY HOMOGENEOUS AREA OF LAND THAT DRAINS INTO A SINGLE REACH OR POND. EACH SUBCATCHMENT GENERATES A RUNOFF HYDROGRAPH. (A SUBCATCHMENT MAY ALSO BE USED TO ACCOUNT FOR THE RAIN FALLING DIRECTLY ON THE SURFACE OF A POND.)
- 1

REACH: A UNIFORM STREAM, CHANNEL, OR PIPE THAT CONVEYS WATER FROM ONE POINT TO ANOTHER REACH OR POND. THE OUTFLOW OF EACH REACH IS DETERMINED BY A HYDROGRAPH ROUTING CALCULATION.
- 1

POND: A POND, SWAMP, DAM, OR OTHER IMPOUNDMENT THAT FILLS WITH WATER FROM ONE OR MORE SOURCES AND EMPTIES IN A MANNER DETERMINED BY A WEIR, CULVERT, OR OTHER DEVICE(S) AT ITS OUTLET. THE OUTFLOW(S) OF EACH POND IS DETERMINED BY A HYDROGRAPH ROUTING CALCULATION. THE PRIMARY AND/OR SECONDARY OUTFLOW MAY DRAIN INTO A REACH OR INTO ANOTHER POND.
- L1

LINK: A METHOD OF INTERCONNECTING SEVERAL HYDROGRAPHS WHICH MAY CONVERGE TOGETHER AT A COMMON ANALYSIS POINT.



**The Dubai Group, Inc.**  
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Windham, NH 03087  
603-458-6462

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Planners  
Surveyors  
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60 0 30 60  
1 INCH = 60 FEET

REVISIONS:			
REV.	DATE:	COMMENT:	BY:

DRAWN BY: SJK  
CHECKED BY: DGM  
DATE: FEBRUARY 13, 2020  
SCALE: 1"=60'  
FILE: 314-PRE  
DEED REF: -

PROJECT:  
**FIELDSTONE INDUSTRIAL PARK**  
34 ROUTE 125  
KINGSTON, NH 03848

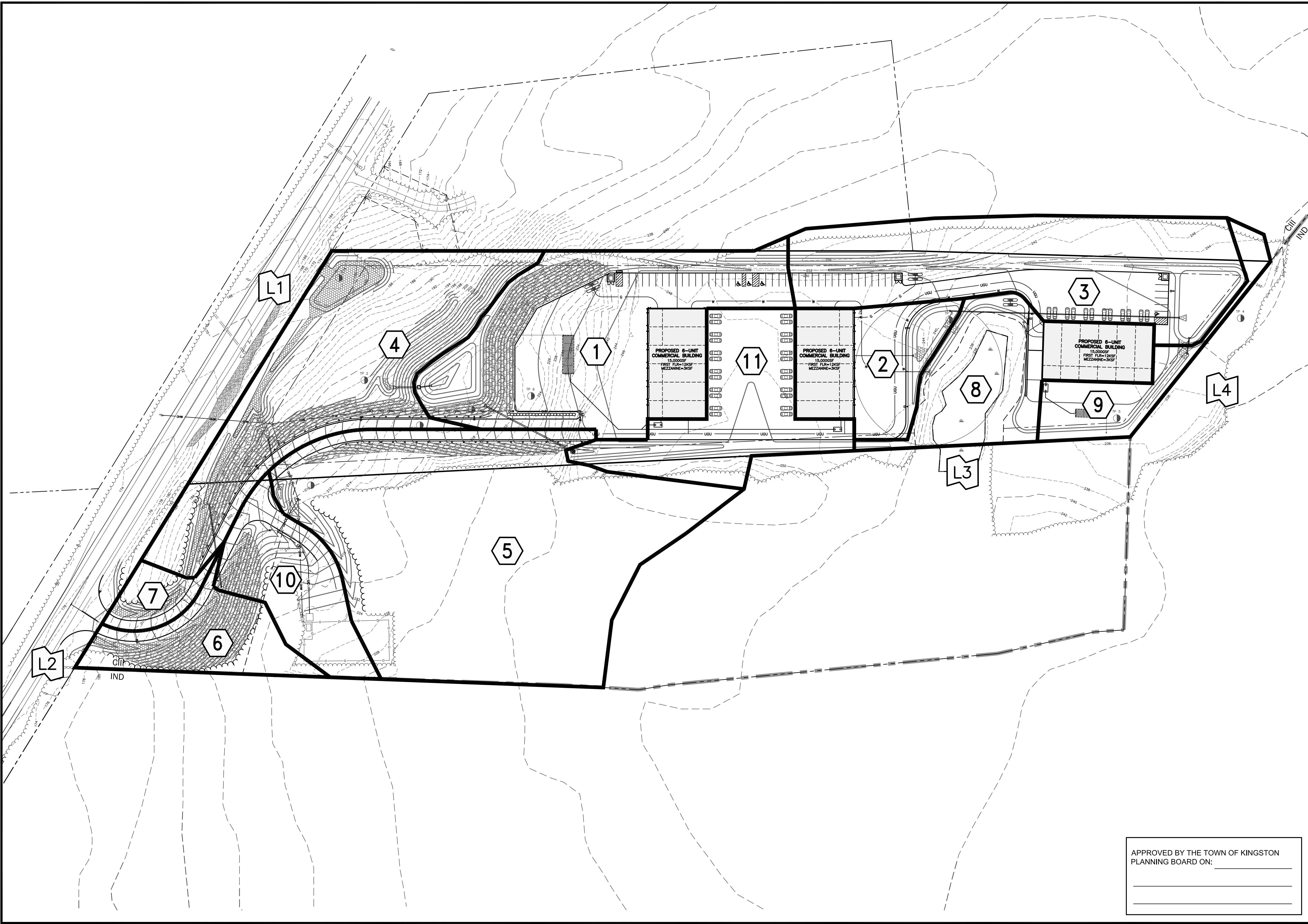
FOR  
**FIELDSTONE MEADOW REALTY, LLC**  
19 QUIMBY COURT  
DANVILLE, NH 03819

SHEET TITLE:  
**PRE DEVELOPMENT WATERSHED PLAN**

APPROVED BY THE TOWN OF KINGSTON  
PLANNING BOARD ON: \_\_\_\_\_

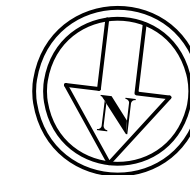


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1 INCH = 40 FEET

REVISIONS:			
REV.	DATE:	COMMENT:	BY:
1	4/17/20	REVS PER TOWN COMMENTS	JMM

DRAWN BY: SJK  
CHECKED BY: DGM  
DATE: FEBRUARY 13, 2020  
SCALE: 1"=60'  
FILE: 314-POST  
DEED REF: -

PROJECT:  
**FIELDSTONE INDUSTRIAL PARK**  
34 ROUTE 125  
KINGSTON, NH 03848

FOR  
**FIELDSTONE MEADOW REALTY, LLC**  
19 QUIMBY COURT  
DANVILLE, NH 03819

SHEET TITLE:  
**POST DEVELOPMENT WATERSHED PLAN**

APPROVED BY THE TOWN OF KINGSTON  
PLANNING BOARD ON: \_\_\_\_\_



# FIELDSTONE INDUSTRIAL PARK

34 ROUTE 125

KINGSTON, NEW HAMPSHIRE

Gleason Architects

P.O. BOX 596

STRATHAM, NH 03885

603 770-2882

CODE BEING USED:  
INTERNATIONAL BUILDING CODE 2015 WITH NH AMENDMENTS  
INTERNATIONAL RESIDENTIAL CODE 2015  
INTERNATIONAL ENERGY CONSERVATION CODE 2015  
INTERNATIONAL PLUMBING CODE 2015  
NATIONAL ELECTRIC CODE 2017 WITH NH AMENDMENTS  
NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) I 2013 AND NFPA 101 2015

STATE FIRE CODE SAF-C 4000

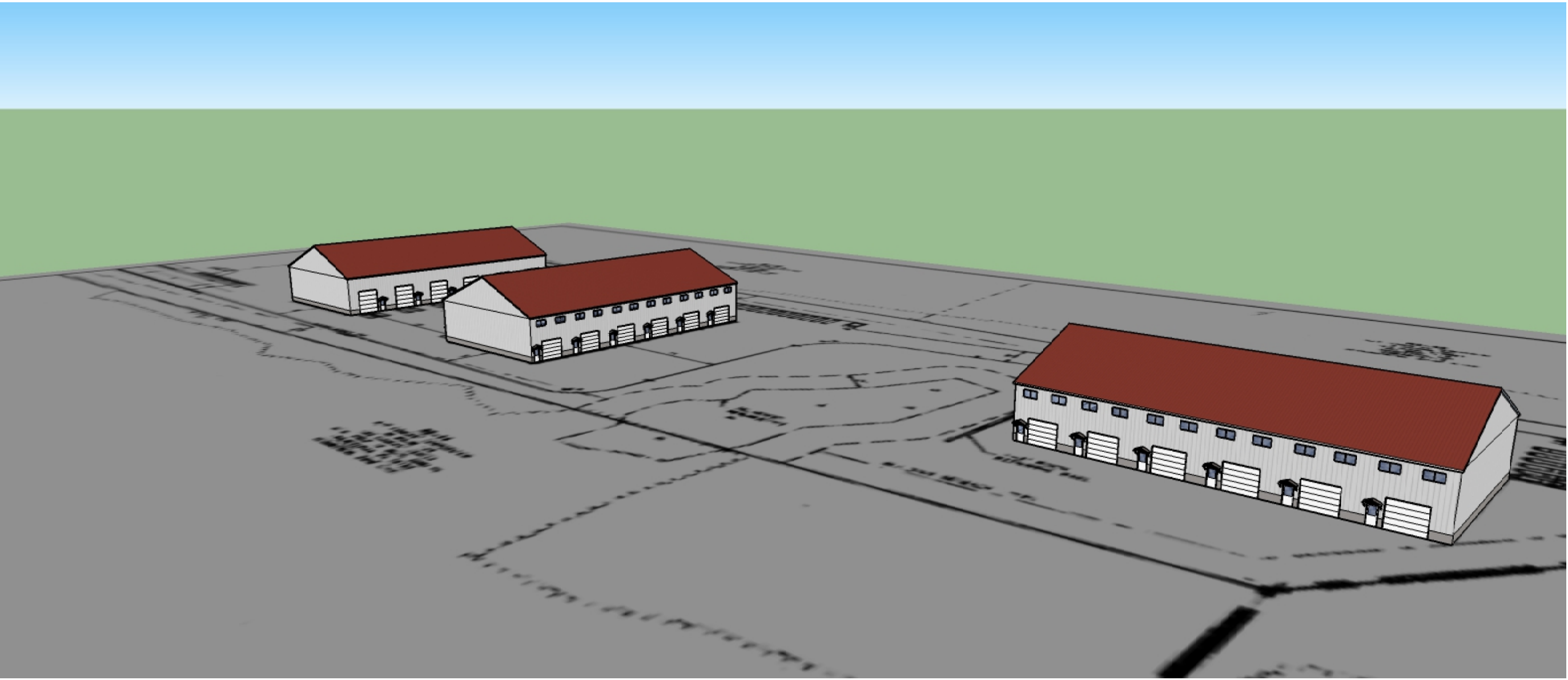
## INDEX TO DRAWINGS

### ARCHITECTURAL

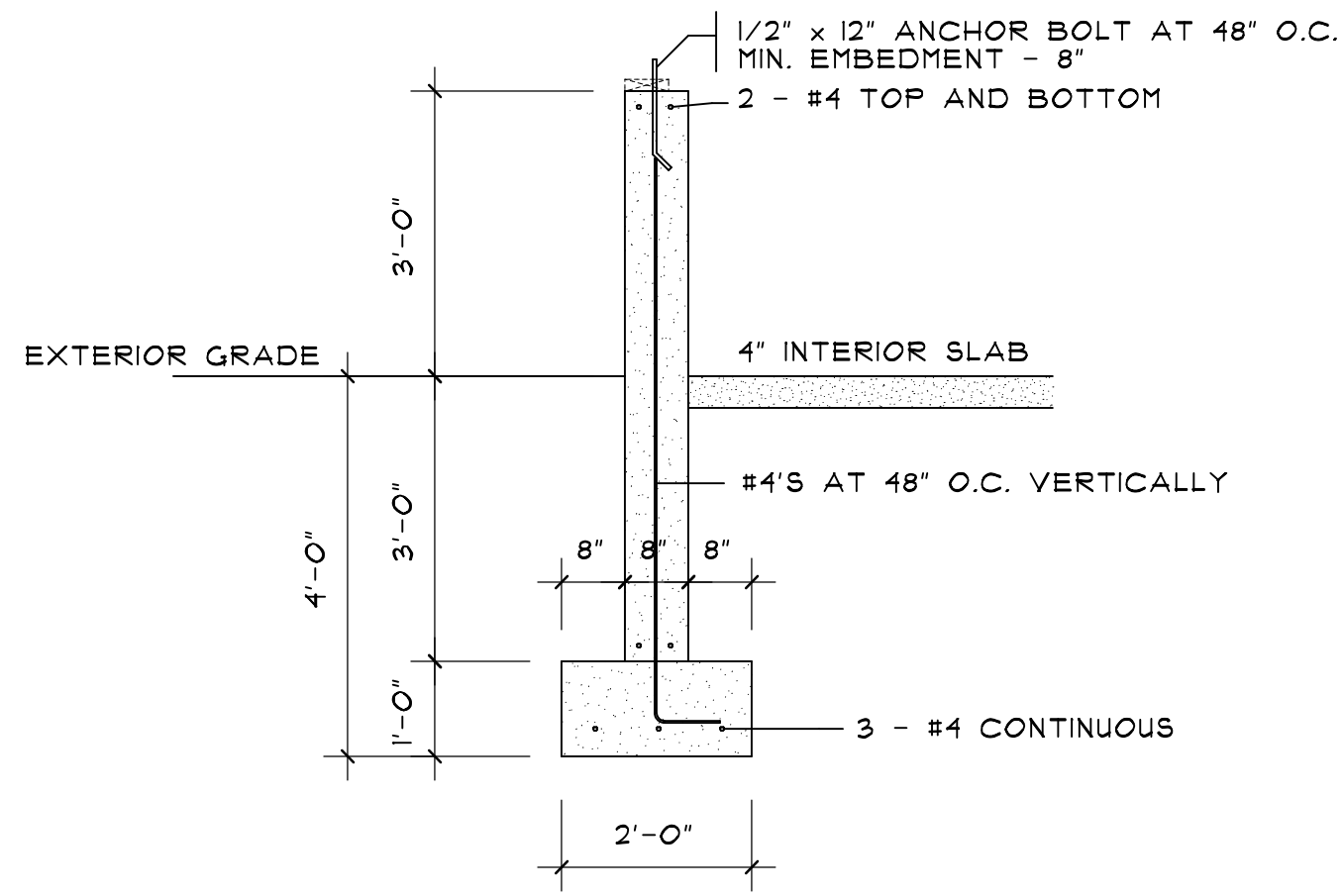
- A1 - FOUNDATION PLAN
- A2 - FIRST FLOOR PLAN
- A3 - ELEVATIONS
- A4 - SECTION, FRAMING PLANS

## GENERAL NOTES

- All work must meet state, local and other applicable codes.
- Contractor(s) must visit the job site prior to submitting a bid.
- It is assumed the soil bearing capacity is 2000 psf or better.
- Footings are to be placed on undisturbed soil, a minimum of one (1) foot below the frost line.
- Provide 2" rigid insulation around the foundation perimeter to 4' below grade.
- Concrete walls below the finished grade are to be damp proofed with tar or equal material.
- All wood on concrete is to be pressure treated lumber with sill seal and insulation.
- Poured in place concrete is to be 3000 psi or better.
- Concrete slabs are to have 6/6 10x10 w.w.f., 6 mil poly vapor barrier over 6" of crush stone or gravel.
- Use anchor bolts at 4'-0" on center on foundation walls.
- Use bridging or solid blocking between floor joist.
- Exterior walls are to be 2 x 6 wood studs at 16" on center with lateral bracing, 1/2" gypsum board interior 1/2" sheathing exterior and "building wrap". The walls will have full batt insulation or equal,
- Interior walls are to be 2 x 4 wood studs at 16" on center with 1/2" gypsum board each side.
- Stairs: Treads, 11" (+/-); Risers, 7 1/2" (+/-) per local code.
- All material used in the construction of this building will be new. No used or reconditioned material is permitted.
- All interior finishes are to be determined by the contract with the owner.
- Notify the architect immediately if conditions are different than indicated on the plans.
- Any changes to these plans must be reviewed and approved by the owner(s) and the architect.
- These drawings are prepared for the owner(s) to meet local and state codes. Any deficiencies must be noted and architect contacted to review those deficiencies.

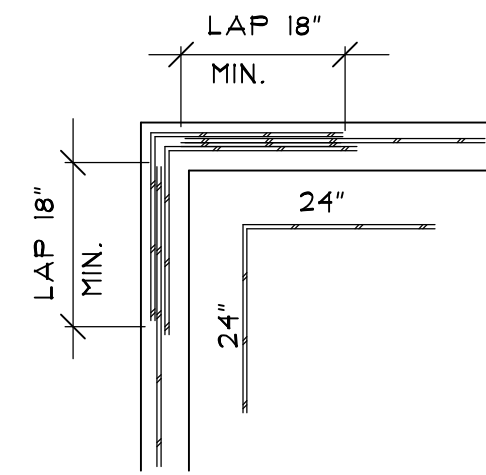






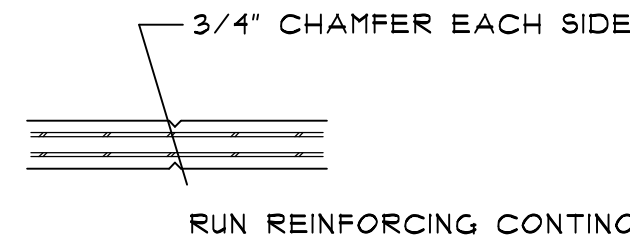
FOUNDATION SECTION

SCALE: 1/2" = 1'-0"



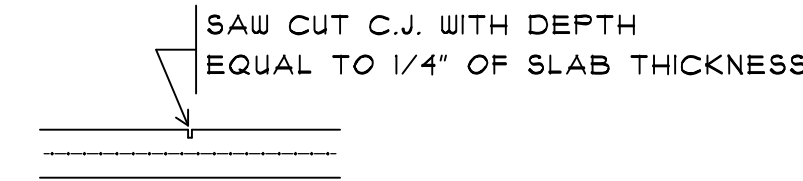
1 TYPICAL CORNER REINFORCING

SCALE: 1/2" = 1'-0"



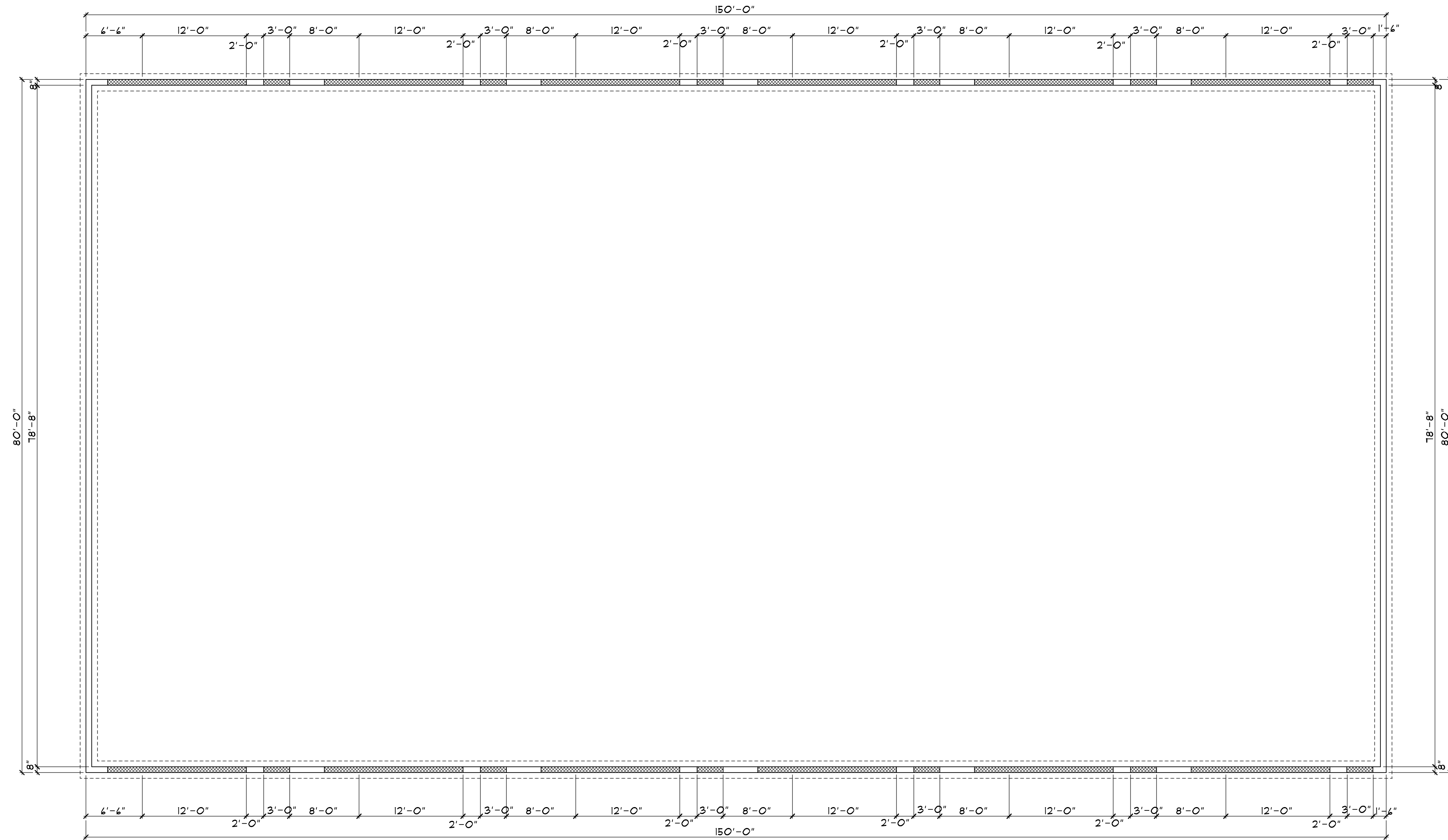
2 TYPICAL WALL CONTROL JOINT

SCALE: 1/2" = 1'-0"



3 SAWCUT CONTROL JOINT

SCALE: 1/2" = 1'-0"



FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

NO.	DESCRIPTION OF REVISION	DATE

FIELDSTONE INDUSTRIAL PARK  
34 ROUTE 125  
KINGSTON, NEW HAMPSHIRE

*Gleason Architects*  
P.O. BOX 596  
STRATHAM, NEW HAMPSHIRE 03885  
603 772-7370

ARCHITECT

ENGINEER

DATE: 03/20/20

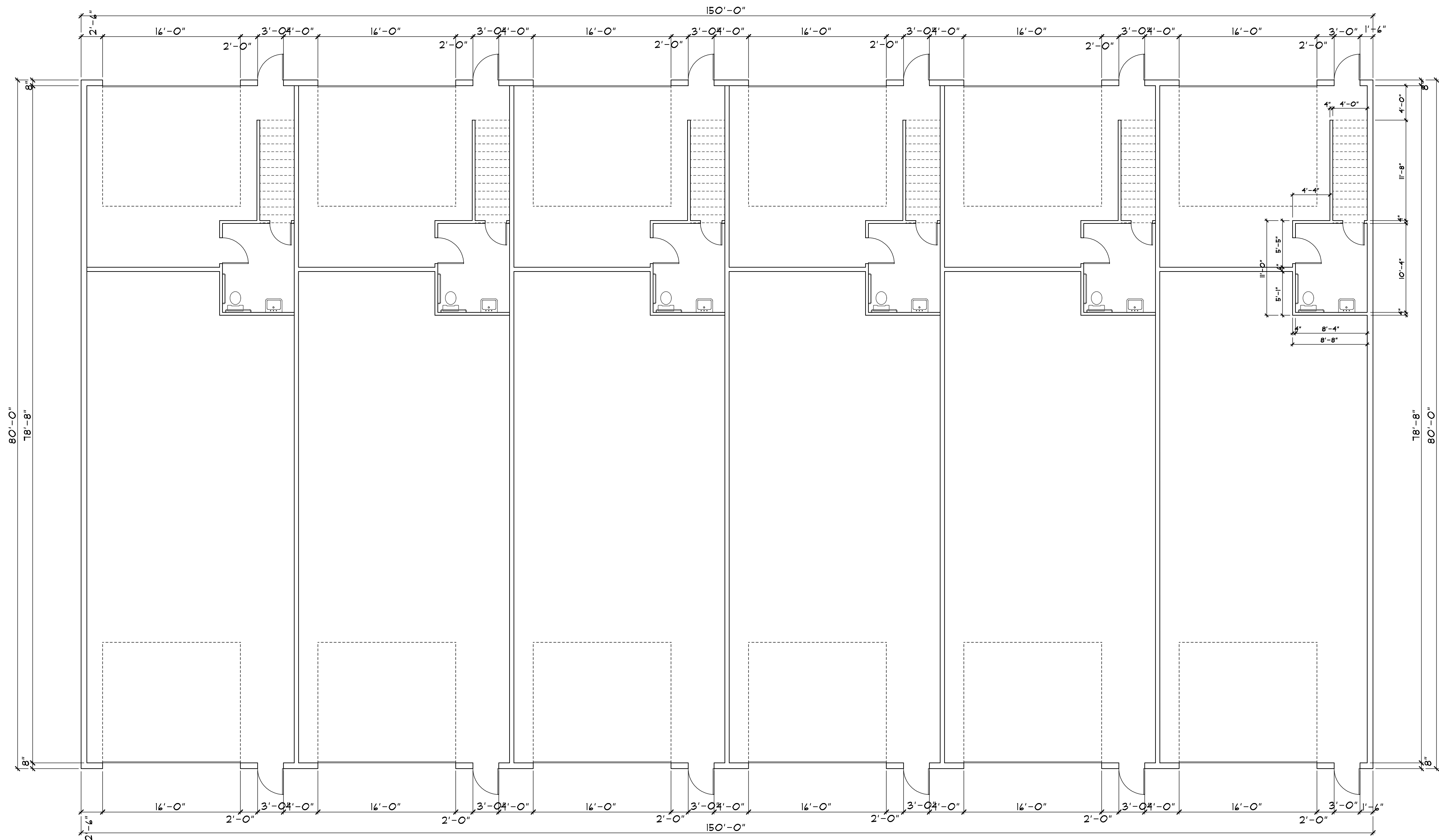
PROJECT NO. 202009

SHEET NO.

A-1

OF SHEETS





FIRST FLOOR PLAN  
SCALE: 1/8" = 1'-0"

NO.	DESCRIPTION OF REVISION	DATE

FIELDSTONE INDUSTRIAL PARK  
34 ROUTE 125  
KINGSTON, NEW HAMPSHIRE

Gleason Architects  
P.O. BOX 596  
STRATHAM, NEW HAMPSHIRE 03885  
603 772-7370

ARCHITECT

ENGINEER  
DATE: 03/20/20  
PROJECT NO. 202009  
SHEET NO.

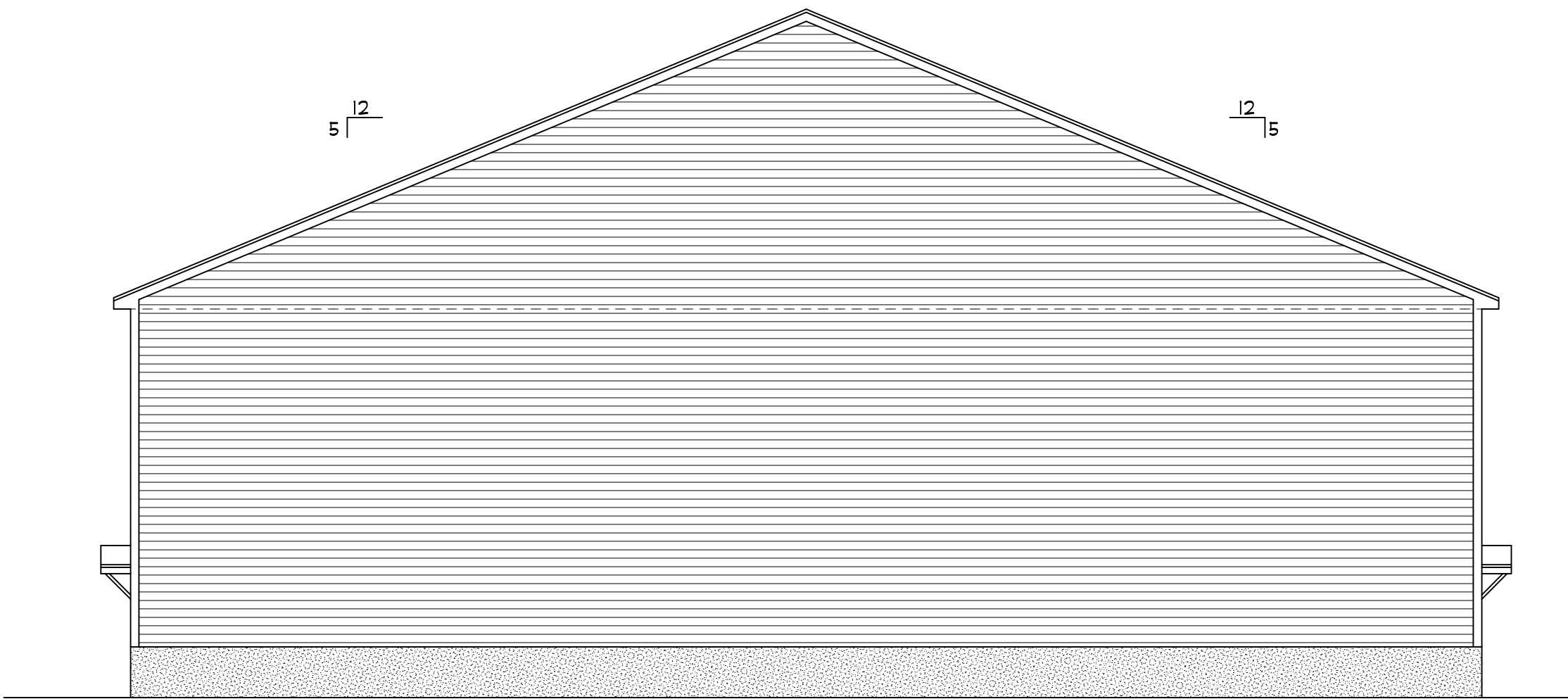




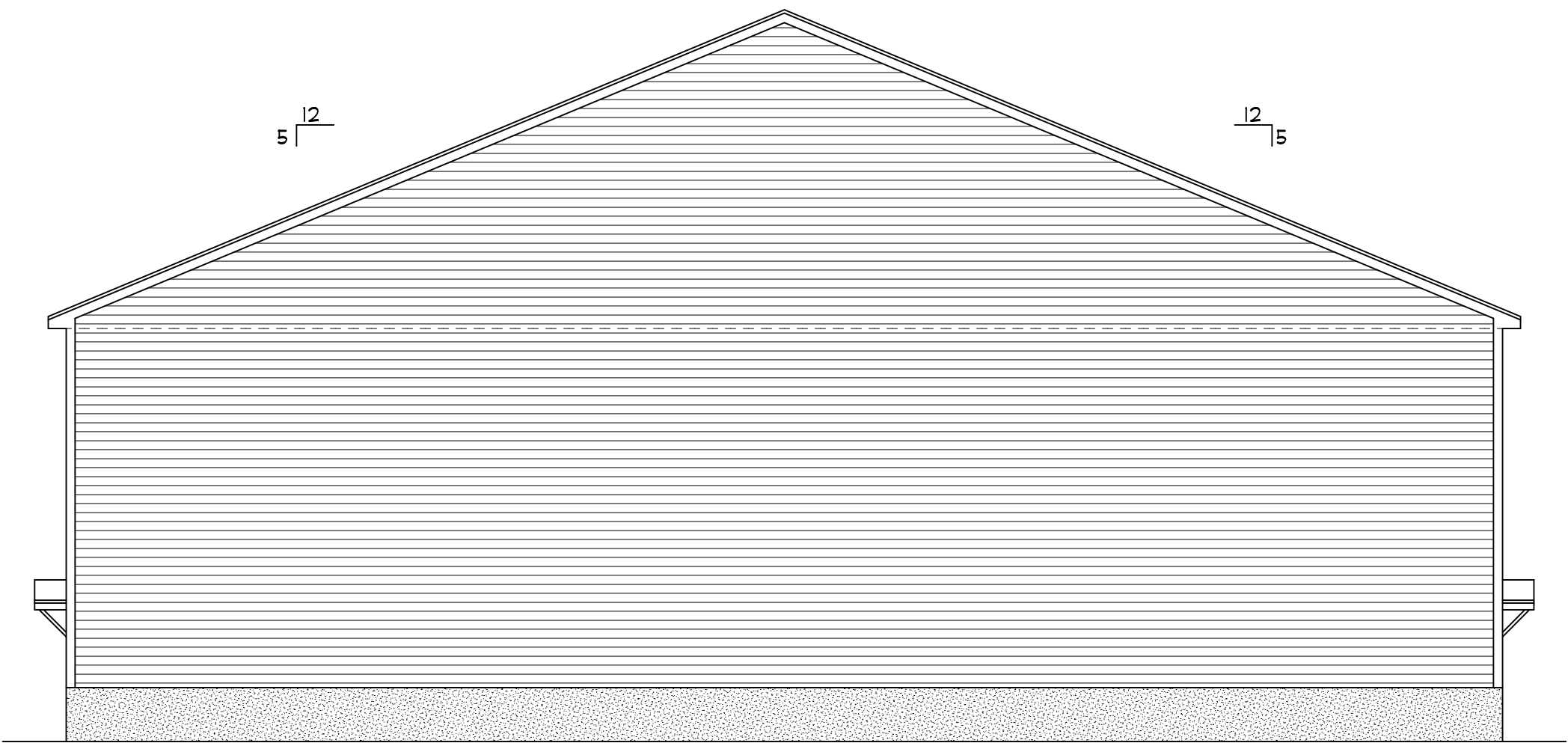
FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



REAR ELEVATION  
SCALE: 1/8" = 1'-0"



RIGHT SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION  
SCALE: 1/8" = 1'-0"

NO.	DESCRIPTION OF REVISION	DATE

FIELDSTONE INDUSTRIAL PARK  
34 ROUTE 125  
KINGSTON, NEW HAMPSHIRE

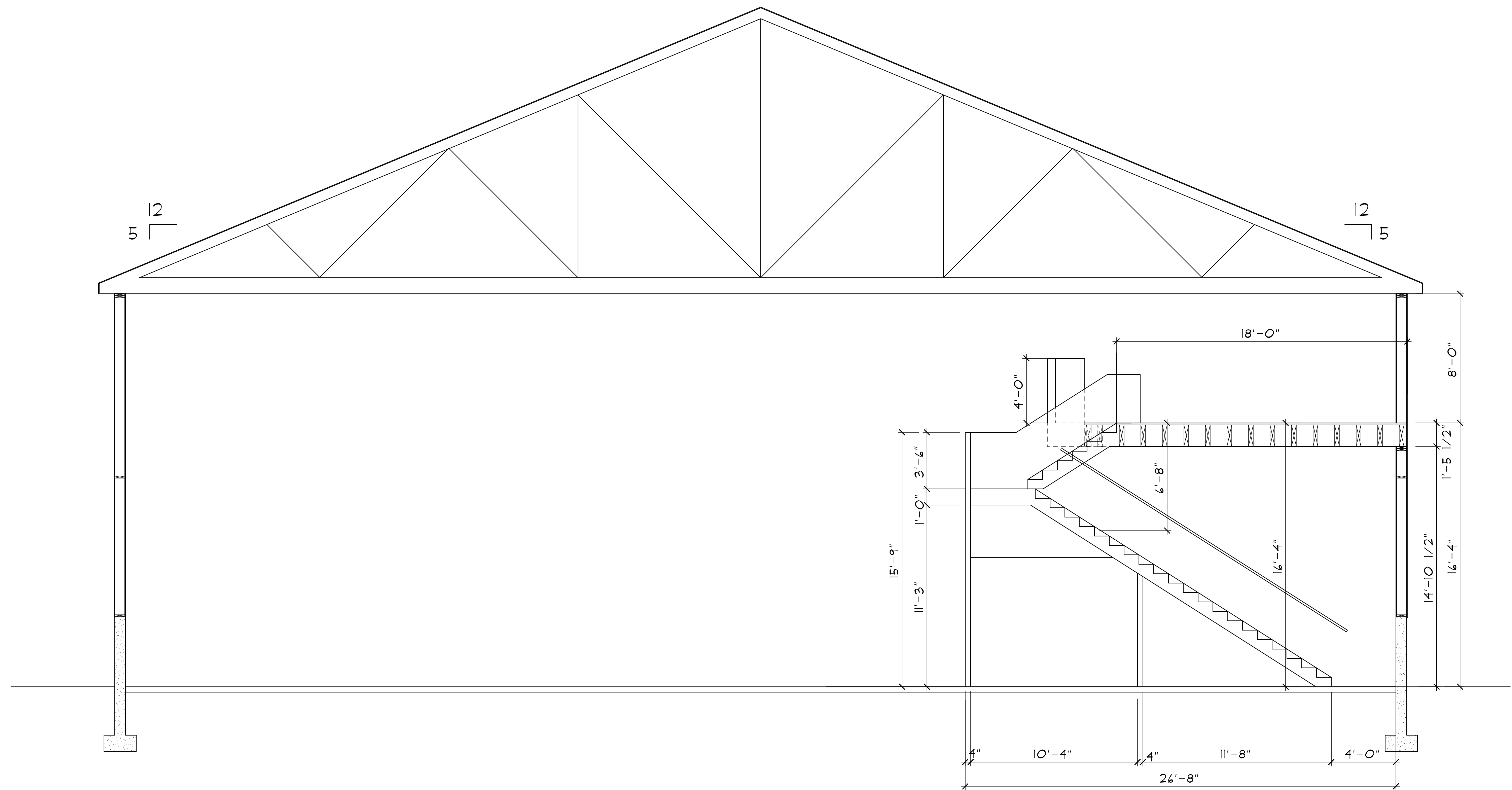
*Gleason Architects*  
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STRATHAM, NEW HAMPSHIRE 03885  
603 772-7370

ARCHITECT

ENGINEER  
DATE: 03/20/20  
PROJECT NO. 202009  
SHEET NO.

A-3  
OF SHEETS





DATE	DESCRIPTION OF REVISION	NO.

***Gleason Architects***  
P.O. BOX 596  
STRATHAM, NEW HAMPSHIRE 03885  
603 772-7370

ENGINEER
DATE: 03/20/20
PROJECT NO. 202009
SHEET NO.

A-4

OF SHEETS