



March 23, 2021

GeoInsight Project 5839-003

Kingston Planning Board
163 Main Street
PO Box 716
Kingston, NH 03848
Attn: Glenn Coppleman

RE: Proposed Concrete Pad Design and Construction
John's Truck and Auto Salvage
71A New Boston Road
Kingston, New Hampshire
NHDES #198402084

Dear Mr. Coppleman:

GeoInsight, Inc. (GeoInsight) prepared this letter on behalf of John's Truck and Auto Salvage (John's Truck) to present proposed construction of a new concrete containment pad at the property. Installation of the pad is part of the New Hampshire Department of Environmental Services (NHDES) MTBE Remediation Bureau's initiatives and is in line with NHDES's objective to use State MTBE litigation settlement monies to mitigate the potential for gasoline releases to groundwater for activities performed on the new pad. This letter includes a brief description of the project and conceptual design criteria.

In early 2016 GeoInsight was approached by the NHDES MTBE Remediation Bureau to interface with the Auto and Truck Recyclers Association (ATRA) of New Hampshire to assist with engaging members with a new initiative to implement spill prevention devices at member facilities. Working with the NHDES, GeoInsight has assisted New Hampshire salvage yard owners with the design and installation of concrete containment pads in sensitive areas within their yards. To date, GeoInsight has supervised the installation of 37 pads at 31 yards throughout the State. The program has been extremely successful, and the end result has been to reduce the risk of gasoline (and other vehicle fluids) to the subsurface. Facility-specific pad designs have been prepared for various uses, including crushing areas, dismantling areas, pre- and post-crush staging, interior building slabs at previously-gravel surfaced areas, etc.

PROJECT INFORMATION

In March 2016 GeoInsight visited John's Truck to perform a reconnaissance of the property and discuss the requested location, size, and use of a proposed concrete containment pad. Based upon the findings of the reconnaissance and input from the yard owner, a 40-by 40 square-foot (sf) concrete pad was proposed adjacent to the facility's vehicle dismantling garage located on Lot 23. The project was ultimately indefinitely postponed. In September 2018, a fire destroyed the office and warehouse building associated with the business that was located on Lot 22. Since the reconstruction of a new building, end-of-life vehicle (ELV) dismantling is now conducted within the re-built structure on Lot 22. As such, installation of an approximate 45 by 20 sf concrete pad is now proposed adjacent to the new dismantling/office building. The pad is proposed adjacent to (east) the building and in front of the three vehicle dismantling bays to provide an impervious surface where in-coming ELVs are staged prior to being worked on in the bays. Currently, incoming vehicles are dropped off by transport or tow contractors on unpaved surfaces. The pad would be constructed with positive limiting barriers to contain fluid releases and would be structurally isolated from the existing adjacent building.

The project process includes pre-characterization of the proposed pad area with test borings, design of the pad by a licensed Professional Engineer based upon projected use of the pad, oversight of the pad area preparation and installation, construction materials testing, and documentation of the activities in a report to the NHDES.

If you have questions or comments regarding the contents of this letter or the attached construction plans, please contact us at (603) 314-0820.

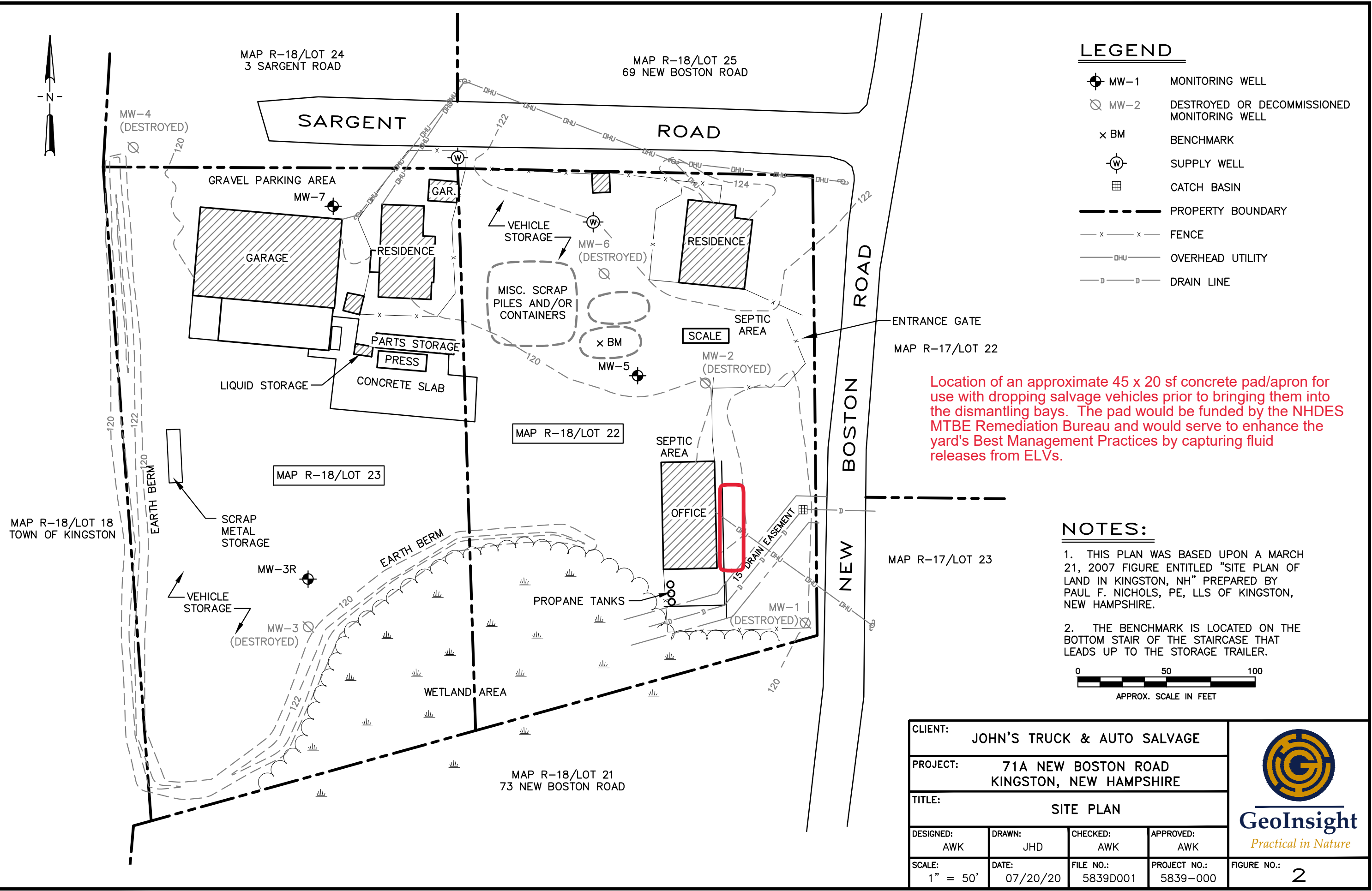
Sincerely,
GEOINSIGHT, INC.




Andrea W. Kenter, P.G.
Associate/Senior Hydrogeologist


Attachments

\\Geonho\NHO_Projects\5839 John's Truck\MTBE Concrete Pad\Concrete Quotes\5839 Concrete Pad Letter_March 2021 New Letterhead HR.Docx



Location of an approximate 45 x 20 sf concrete pad/apron for use with dropping salvage vehicles prior to bringing them into the dismantling bays. The pad would be funded by the NHDES MTBE Remediation Bureau and would serve to enhance the yard's Best Management Practices by capturing fluid releases from ELVs.

PICTURE	OWNER	TAXABLE DISTRICTS		BUILDING DETAILS			
	BEAUCHESNE, RICHARD W. TR 71 NEW BOSTON RD. RTY TRUST 50 LEDGE RD. NO. CHELMSFORD, MA 01863	District	Percentage	Model: 1.00 STORY FRAME GARAGE/COM			
				Roof: GABLE HIP/METAL/TIN			
			Ext: PREFIN METAL				
			Int: MINIMUM				
			Floor: CONCRETE				
			Heat: GAS/FA DUCTED				
	PERMITS				Bedrooms:	Baths:	Fixtures:
	Date	Permit ID	Permit Type	Notes	Extra Kitchens:		Fireplaces:
	04/19/19	R18-22	ELECTRIC PERMIT	COMMERCIAL BUILDING F	A/C: Yes 25.00 %		Generators:
	02/20/19	R18-22	REPAIR - FIRE	BUILDING REPAIR AFTER I	Quality: A0 AVG		
10/02/18	R18-22	ACCESSORY OUTBLD	TEMPORARY OFFICE TRAI	Com. Wall: STEEL, 16 FT. 1.0840			
				Size Adj: 1.0972	Base Rate: CIG 84.00		
					Bldg. Rate: 0.7022		
					Sq. Foot Cost: \$ 63.94		

BUILDING SUB AREA DETAILS				
ID	Description	Area	Adj.	Effect.
FFF	FST FLR FIN	1350	1.00	1350
OFF	OFFICE AREA	450	1.00	450
GLA:	1,800	1,800		1,800
				
2018 BASE YEAR BUILDING VALUATION				
Market Cost New:				\$ 115,092
Year Built:				1984
Condition For Age:	GOOD			18 %
Physical:				
Functional:				
Economic:				
Temporary:				
Total Depreciation:				18 %
Building Value:				\$ 94,400